



Department of Building & Grounds
Architectural Services Division

City of Baton Rouge
Parish of East Baton Rouge

P.O. Box 1471
Baton Rouge, Louisiana 70821
225 389-4694 Voice
225 389-4704 Fax

ADDENDUM #2

January 4, 2024

TO ALL BIDDERS

**PROJECT: BROWNSFIELD FIRE STATION #72 ADDITION
CITY PARISH PROJECT NO. 21-ASC-CP-1485**

The following revisions shall be incorporated in and take precedence over any conflicting part of the original contract documents.

This addendum shall be part of the Contract Documents and modifies the original Bidding Documents dated December 9, 2023. Contractors bidding this project shall be aware of all the items contained herein and shall submit their bid accordingly.

1. Add the following Specification Sections 310000 Earthwork, 311000 Site Clearing, and 313116 Termite Control.
2. Add the following revised Drawing Sheets: C001, D100, A100, A200, and A300.
3. Add the following Drawing Sheet A600.

TOTAL PAGES5 (SPECIFICATIONS)
TOTAL PAGES6 (DRAWINGS)
TOTAL PAGES12 (INCLUDING THIS PAGE)

FAILURE TO INDICATE RECEIPT OF THIS ADDENDUM ON BID FORM MAY BE CAUSE FOR THE BID TO BE REJECTED

June Tran, AIA
Senior Architect
Architectural Services Division
1100 Laurel Street, Rm 227
Baton Rouge, LA 70802

SECTION 310000

EARTHWORK

PART 1 - GENERAL

1.01 SUMMARY

- A. Perform excavation, filling, compacting and grading operations both inside and outside building limits as required for below-grade improvements and to achieve grades and elevations indicated. Provide trenching and backfill for mechanical and electrical work and utilities.
- B. Provide subbase materials, drainage fill, common fill, and structural fill materials for slabs, pavements, and improvements.
- C. Provide suitable fill from off-site if on-site quantities are insufficient or unacceptable, and legally dispose of excess fill off-site.
- D. Provide rock excavation without blasting unless blasting is specifically authorized.

1.02 SUBMITTALS

- A. Product Data: Submit manufacturer's product data and installation instructions for each material and product used.
- B. Test Reports: Submit for approval test reports, list of materials and gradations proposed for use.

1.03 QUALITY ASSURANCE

- A. Compaction:
 - 1. Under structures, building slabs, steps, pavements, and walkways, 95 percent maximum density, ASTM D 1557.
 - 2. Under lawns or unpaved areas, 90 percent maximum density, ASTM D 1557.
- B. Grading Tolerances Outside Building Lines:
 - 1. Lawns, unpaved areas, and walks, plus or minus 1 inch.
 - 2. Pavements, plus or minus 1/2 inch.
- C. Grading Tolerance for Fill Under Building Slabs: Plus or minus 1/2 inch measured with 10 foot straightedge.

PART 2 - PRODUCTS

2.01 MATERIALS

- A. Subbase material: Gravel or crushed stone graded for intended use as subbase for paving materials specified.
- B. Drainage fill: Washed gravel or crushed stone, 1/4" to 3/4" size; ASTM C 33, Size 67.
- C. Common fill: Mineral soil substantially free from organic and unsuitable materials, and free from rock or gravel larger than 2" in diameter; 80 percent passing No. 40 sieve and not more than 50 percent passing No. 200 sieve.
- D. Structural fill: Gravel or sandy gravel free of organic and unsuitable materials and within the following gradation limits: 4" sieve, 100 percent finer by weight; 1" sieve, 60 to 100 percent; No.

4 sieve, 25 to 85 percent; No. 20 sieve, 10 to 60 percent; No. 50 sieve, 4 to 35 percent; No. 200 sieve, 0 to 5 percent.

PART 3 - EXECUTION

3.01 INSTALLATION

- A. Excavation is unclassified and includes excavation to subgrade regardless of materials encountered. Repair excavations beyond elevations and dimensions indicated as follows:
 - 1. At Structure: Concrete or compacted structural fill.
 - 2. Elsewhere: Backfill and compact as directed.
- B. Maintain stability of excavations; coordinate shoring and bracing as required by authorities having jurisdiction. Prevent surface and subsurface water from accumulating in excavations. Stockpile satisfactory materials for reuse, allow for proper drainage and do not stockpile materials within drip line of trees to remain.
- C. Compact materials at the optimum moisture content as determined by ASTM D 1557 by aeration or wetting to the following percentages of maximum dry density:
 - 1. Structure, Pavement, Walkways: Subgrade and each fill layer to 95% of maximum dry density to suitable depth.
 - 2. Unpaved Areas: Top 6" of subgrade and each fill layer to 90% maximum dry density.
- D. Place acceptable materials in layers not more than 8" loose depth for materials compacted by heavy equipment and not more than 4" loose depth for materials compacted by hand equipment to subgrades indicated as follows:
 - 1. Structural Fill: Use under foundations, slabs on grade in layers as indicated.
 - 2. Drainage Fill: Use under designated building slabs, at foundation drainage and elsewhere as indicated.
 - 3. Common Fill: Use under unpaved areas.
 - 4. Subbase Material: Use under pavement, walks, steps, piping and conduit.
- E. Grade to within 1/2" above or below required subgrade and within a tolerance of 1/2" in 10'.
- F. Protect newly graded areas from traffic and erosion. Recompact and regrade settled, disturbed and damaged areas as necessary to restore quality, appearance, and condition of work.
- G. Control erosion to prevent runoff into sewers or damage to sloped or surfaced areas.
- H. Control dust to prevent hazards to adjacent properties and vehicles. Immediately repair or remedy damage caused by dust including air filters in equipment and vehicles. Clean soiled surfaces.
- I. Dispose of waste and unsuitable materials off-site in a legal manner.

END OF SECTION

SECTION 311000

SITE CLEARING

PART 1 - GENERAL

1.01 SUMMARY

- A. Provide site clearing operations.

1.02 SUBMITTALS

- A. Clearing Plan: Submit list of proposed operations, and identify site improvements and features to remain. Include proposed location for stockpiles.

1.03 QUALITY ASSURANCE

- A. Comply with governing codes and regulations. Use experienced workers.

PART 2 - PRODUCTS

2.01 MATERIALS

- A. Tree protection, erosion control, siltation control, and dust control materials suitable for site conditions.

PART 3 - EXECUTION

3.01 SITE CLEARING OPERATIONS

- A. Protection of existing trees, vegetation, landscaping, and site improvements not scheduled for clearing which might be damaged by construction activities.
- B. Trimming of existing trees and vegetation as recommended by arborist for protection during construction activities.
- C. Clearing and grubbing of stumps and vegetation, and removal and disposal of debris, rubbish, designated trees, and site improvements.
- D. Topsoil stripping and stockpiling.
- E. Temporary erosion control, siltation control, and dust control.
- F. Temporary protection of adjacent property, structures, benchmarks, and monuments.
- G. Temporary relocation of play structures, fencing, and site improvements scheduled for reuse.
- H. Watering of trees and vegetation during construction activities.
- I. Removal and legal disposal of cleared materials.

3.02 CLEARING

- A. Prevent damage to existing improvements indicated to remain, including improvements on and off site. Protect existing trees and vegetation indicated to remain. Do not stockpile materials and restrict traffic within drip line of existing trees to remain. Provide and maintain temporary guards to encircle trees or groups of trees to remain; obtain approval before beginning work.

- B. Water vegetation as required to maintain health. Cover temporarily exposed roots with wet burlap and backfill as soon as possible. Coat cut plant surfaces with approved emulsified asphalt plant coating.
- C. Repair or replace vegetation which has been damaged or pay damages. Remove heavy growths of grass before stripping. Stockpile satisfactory topsoil containing no large stones, foreign matter and weeds on site for reuse.
- D. Completely remove all improvements including stumps and debris except for those indicated to remain. Remove below grade improvements at least 12" below finish grade and to the extent necessary so as not to interfere with new construction. Remove abandoned mechanical and electrical work as required.
- E. Prevent erosion and siltation of streets, catch basins and piping. Control windblown dust. Remove waste materials and unsuitable soil from site and dispose of in a legal manner.

END OF SECTION

SECTION 313116
TERMITE CONTROL

PART 1 - GENERAL

1.01 SUMMARY

- A. Provide soil treatment for termite control.

1.02 SUBMITTALS

- A. Product Data: Submit manufacturer's product data and installation instructions for each material and product used.
- B. Warranty: Submit manufacturer's standard warranty. Include labor and materials to repair or replace defective materials.
 - 1. Warranty Period: 5 years.

1.03 QUALITY ASSURANCE

- A. Comply with governing codes and regulations. Provide products of acceptable manufacturers which have been in satisfactory use in similar service for three years. Use experienced installers. Deliver, handle, and store materials in accordance with manufacturer's instructions.

PART 2 - PRODUCTS

2.01 MATERIALS

- A. Soil Treatment Materials: Soil treatment materials shall bear Federal registration number of U.S. Environmental Protection Agency and acceptable to authorities having jurisdiction. If acceptable, products may include chloropyrifos, permathrin, cypermethrine, fenvalerate, isofenphose.

PART 3 - EXECUTION

3.01 INSTALLATION

- A. Treat soil in strict compliance with National Pest Control Association standards and with manufacturer's printed instructions and recommendations.
- B. Treat areas under floor slabs prior to placement of concrete if possible to avoid drilling. Treat areas outside foundation walls after excavation, filling and grading are complete. Do not apply treatment to frozen or excessively wet soils.
- C. Post signs and other warnings indicating that soil poisoning has been applied. Protect persons and property from injury or damage from soil treatment work.

END OF SECTION



SEAL:

SITE NOTES:

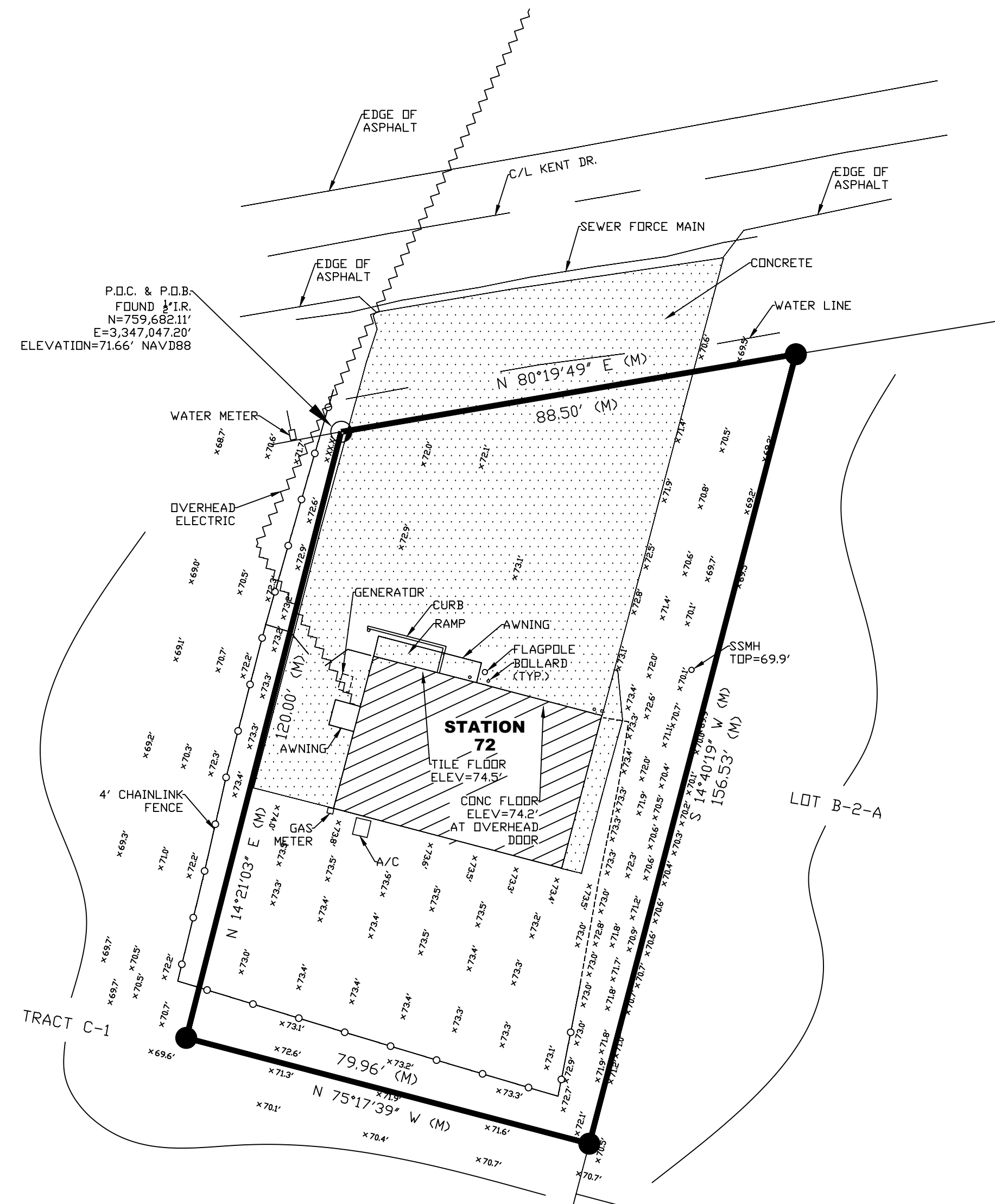
1. CONTRACTOR SHALL PROTECT ADJACENT PROPERTY AND IMPROVEMENTS FROM DAMAGE AND REPLACE ANY PORTIONS DAMAGED THROUGH HIS OPERATION AT HIS OWN COST. ALL REPAIR WORK SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT.
2. PERMIT BOUNDARY, PROPERTY LINE, RIGHT OF WAY AND/OR SERVITUDES SHOWN ARE THE LIMIT OF CONSTRUCTION, UNLESS OTHERWISE NOTED ON PLANS.
3. EXISTING UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE. CONTRACTOR SHALL MAKE PROVISIONS TO PROTECT EXISTING UTILITIES WHEN EXCAVATING IN THESE AREAS SO AS NOT TO DAMAGE OR DISRUPT THESE UTILITIES. CONTRACTOR SHALL VERIFY LOCATION OF UTILITIES PRIOR TO EXCAVATION.
4. CAVITIES OR TRENCHES LEFT BY REMOVAL WORK SHALL BE BACKFILLED TO THE LEVEL OF SURROUNDING GROUND WITH GRANULAR MATERIAL.
5. ALL AREAS AFFECTED BY CONSTRUCTION SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE.
6. ALL GRASS AREAS AFFECTED BY CONSTRUCTION SHALL BE SEEDED AND FERTILIZED. WATER AREA IMMEDIATELY.
7. CONTRACTOR SHALL CONTACT THE UTILITY COMPANIES OR DEPARTMENTS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE IF THERE ARE ANY OTHER UTILITIES IN THE AREA AND TO CONTACT THE APPROPRIATE UTILITIES.
8. CONTRACTOR SHALL COORDINATE THE LOCATION OF SERVICE CONNECTIONS WITH OWNER'S REPRESENTATIVE.
9. ALL NEW EXTERIOR WALKWAYS AND PAVED AREAS SHALL BE SLOPED AWAY FROM BUILDING.

KEYNOTES

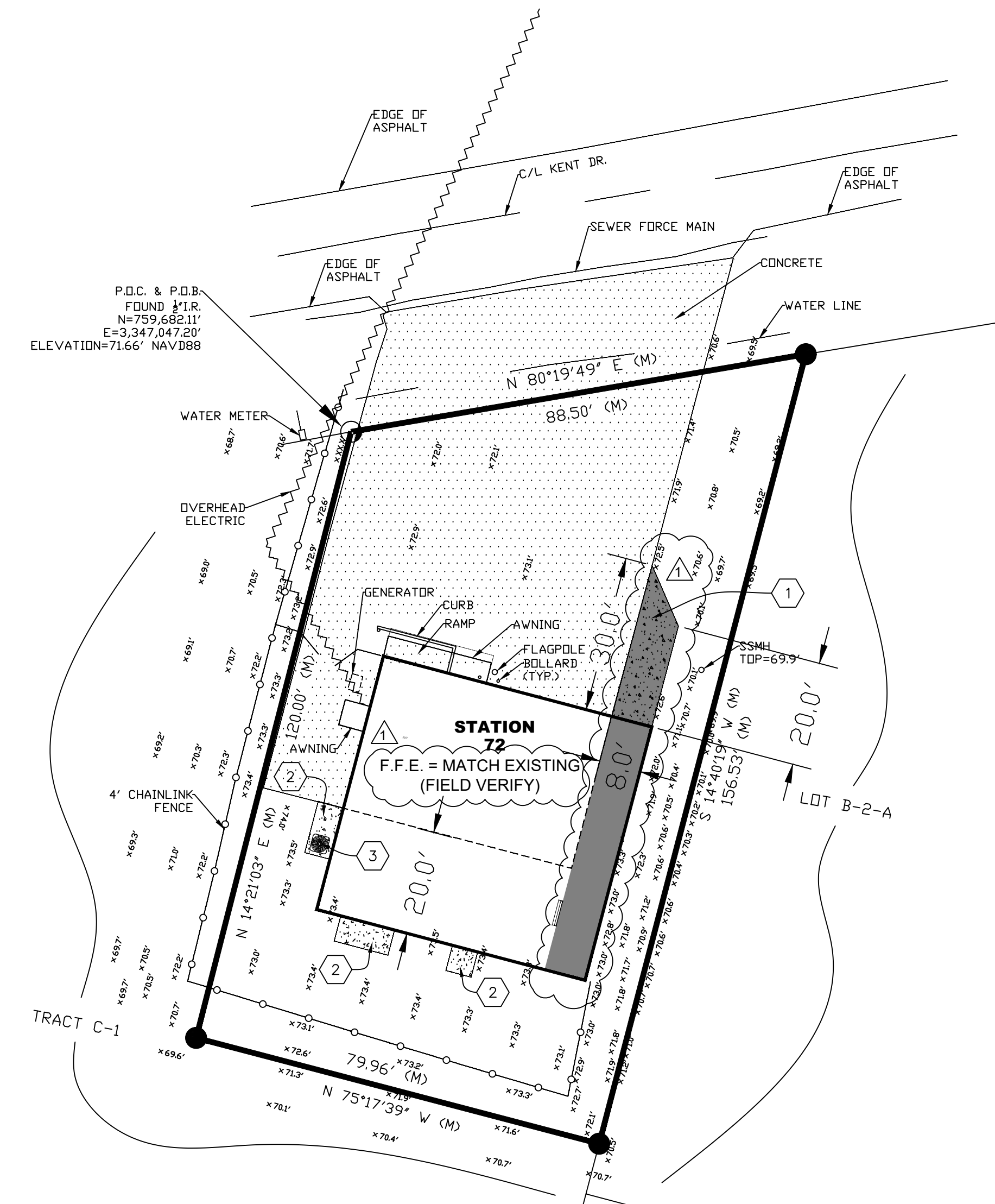
- 1 NEW CONCRETE DRIVEWAY (BASE BID)
- 2 NEW CONCRETE PAD
- 3 NEW LOCATION OF A/C UNIT.

LEGEND

DEDUCTIVE ALTERNATE NO. 2 - PROPOSED BUILDING AND DRIVEWAY LOCATION



1 SITE DEMOLITION PLAN
Scale: 1" = 20'



2 SITE PLAN
Scale: 1" = 20'

BROWNSFIELD FIRE STATION No. 72 ADDITION
6850 Kent Drive, Baker, LA 70714

REVISION:
1/4/2024

CHK: smj DRAWN: JYT
FILE NAME:
C001.dwg

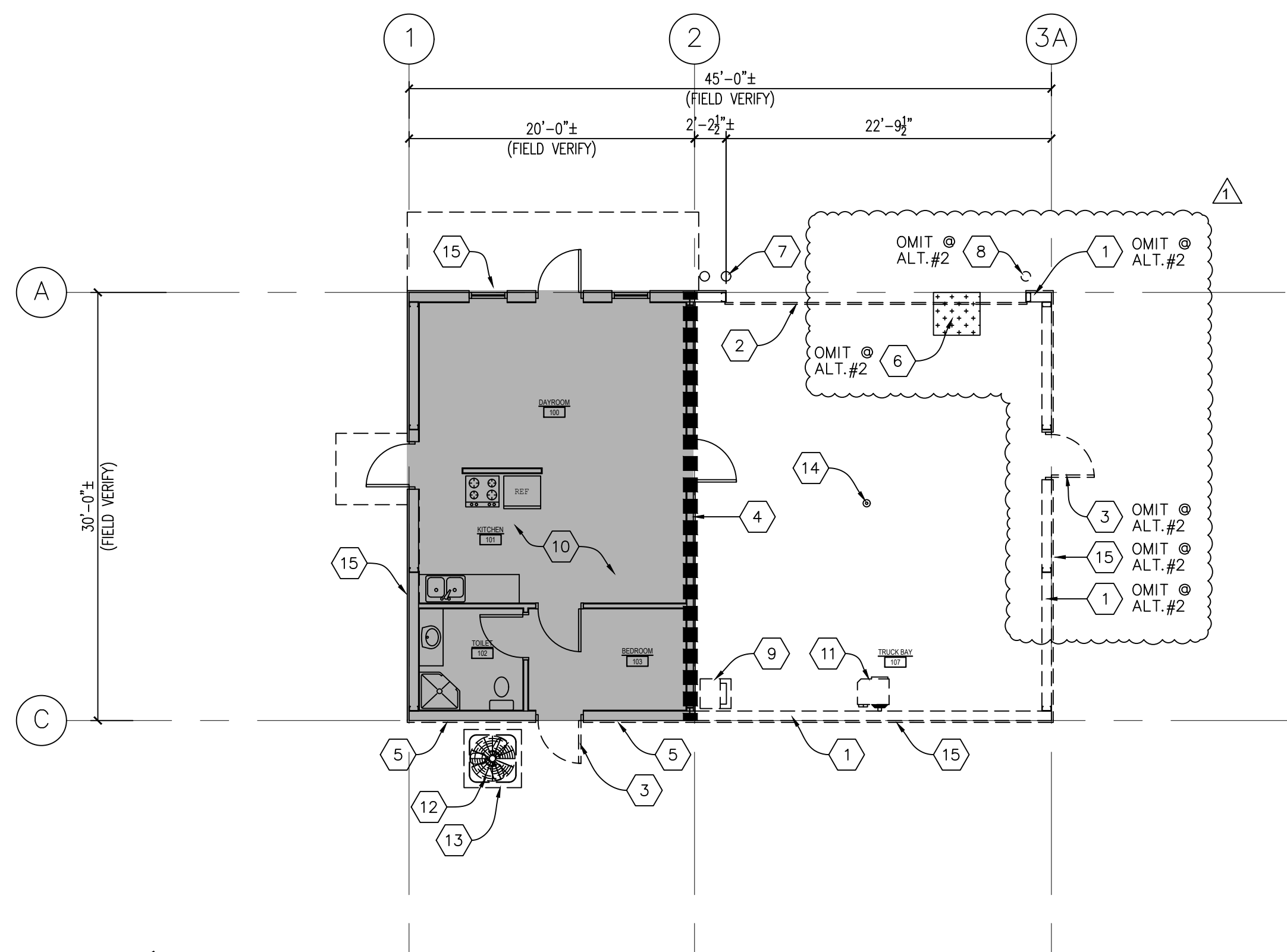
DATE: 9.DEC.2023
TITLE:

SITE PLAN



SEAL:

BROWNSFIELD FIRE STATION No. 72 ADDITION
6850 Kent Drive, Baker, LA 70714



1 DEMOLITION PLAN
Scale: 1/8" = 1'-0"

KEYNOTES

- 1 REMOVE EXISTING WALLS AND METAL FRAMES. PATCH AND REPAIR ALL AFFECTED SURROUNDING WALL AREA AS REQUIRED.
- 2 REMOVE EXISTING OVERHEAD COILING DOOR AT BASE BID. EXISTING OVERHEAD COILING DOOR TO REMAIN AT ALTERNATE NO. 2
- 3 SALVAGE EXISTING DOOR AND FRAME. PROTECT AS REQUIRED FROM RENOVATION WORKS. PATCH AND REPAIR ALL AFFECTED SURROUNDING WALL AREA AS NECESSARY.
- 4 EXISTING FIRE PARTITION TO REMAIN. PATCH AND REPAIR WALLS AS REQUIRES TO MAINTAIN THE EXISTING FIRE PARTITION. REFER SHEET LS01 FOR PARTITION RATING.
- 5 REMOVE EXISTING EXTERIOR METAL WALL PANEL. REPLACE INSULATION AS REQUIRED.
- 6 REMOVE PORTION OF EXISTING CONCRETE, REFER STRUCT. DOCS.
- 7 EXISTING BOLLARD TO REMAIN. PROTECT AS REQUIRED FROM RENOVATION WORK.
- 8 REMOVE EXISTING BOLLARD.
- 9 EXISTING WASHER/DRYER TO REMAIN. PROTECT AS REQUIRED FROM RENOVATION WORKS.
- 10 NO WORK IN THIS AREA, U.N.O.
- 11 SALVAGE AND RELOCATE EXISTING GAS HEATER. PROTECT AS REQUIRED FROM RENOVATION WORKS. PATCH AND REPAIR ALL GAS LINE AS NECESSARY. REFER TO A300 FOR LOCATION.
- 12 SALVAGE AND RELOCATE EXISTING A/C UNIT. PROTECT AS REQUIRED FROM RENOVATION WORKS.
- 13 REMOVE EXISTING CONCRETE PAD
- 14 EXISTING FLOOR DRAIN TO REMAIN. PROTECT AS REQUIRED FROM RENOVATION WORKS.
- 15 REMOVE EXISTING RAKE TRIM, GUTTER AND DOWNSPOUT.
- 16 REMOVE EXISTING ROOF.
- 17 RELOCATE EXISTING GAS METER. REFER TO A100 FOR NEW LOCATION.
- 18 RELOCATE EXISTING GAS EXHAUST VENT. REFER TO A100 FOR NEW LOCATION.
- 19 RELOCATE EXISTING SECURITY CAMERA. COORDINATE LOCATION WITH OWNER.

- 20 REMOVE EXISTING EXTERIOR LIGHT.
- 21 REMOVE PORTION OF EXISTING CHAINLINK FENCE
- 22 REMOVE EXISTING METAL BUILDING FRAMING
- 23 NOT USED

GENERAL NOTES

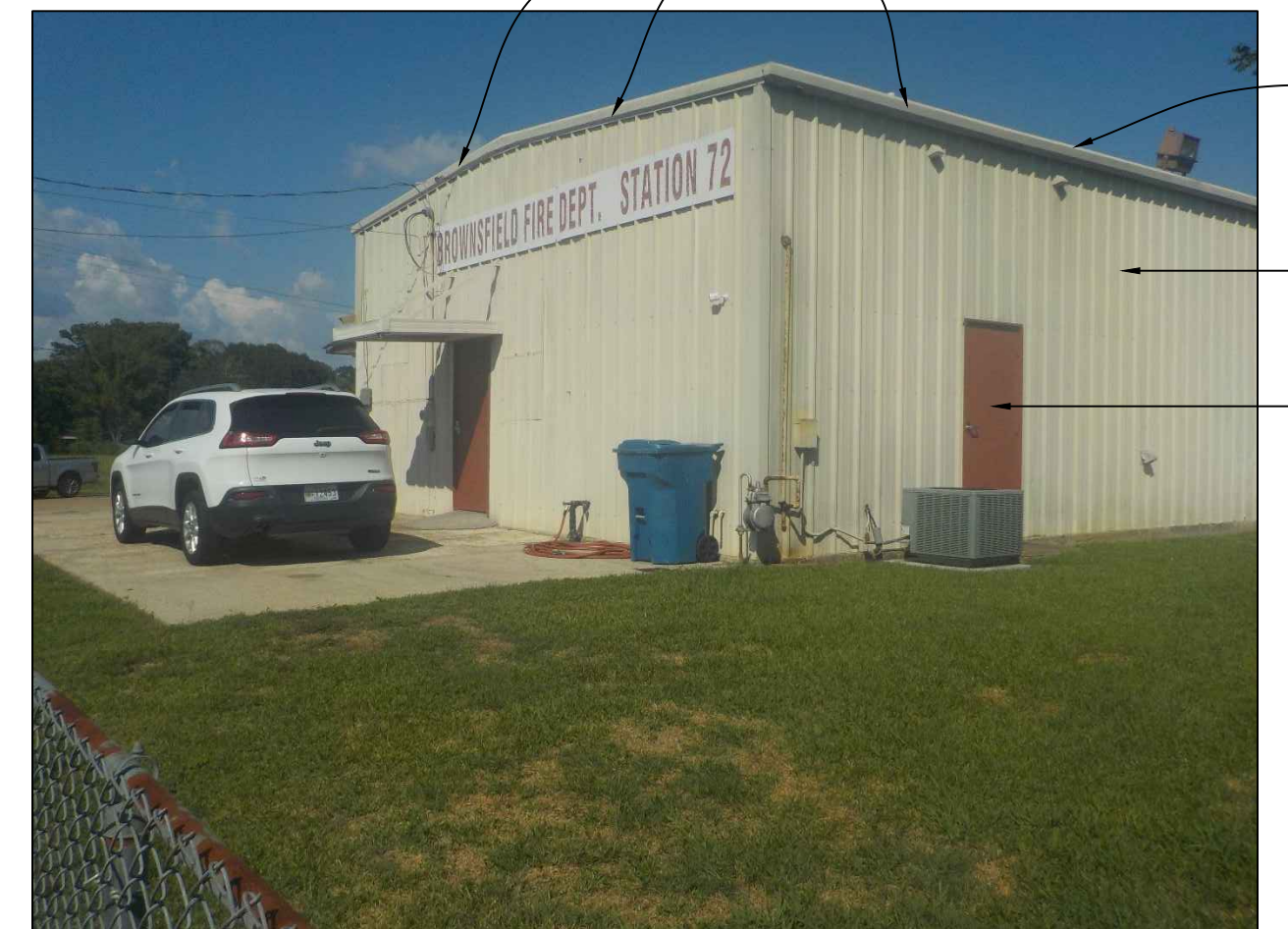
1. CONTRACTORS MUST VISIT THE SITE TO VERIFY FLOOR PLAN ALL EXISTING CONDITIONS, BUILDING TYPES AND CONSTRUCTION AND ALL DIMENSIONS.
2. THE PROJECT IS CURRENTLY OCCUPIED, AND MUST REMAIN COMPLETELY OPERATIONAL TWENTY-FOUR HOURS A DAY. COORDINATE WITH THE OWNER ANY CONSTRUCTION ACTIVITIES WHICH MAY IMPEDE NORMAL OPERATIONS, INCLUDING ANY ACTIVITY WHICH OPERATES EXCESSIVE NOISE, AIRBORNE DIRT, OR WHICH DISRUPTS THE NORMAL FUNCTIONALITY OF THE SPACE. PROTECT ANY ADJACENT SPACE WITH DUST PARTITIONS OR CURTAINS FROM ACTIVITIES WHICH WILL CREATE DUST. NOTIFY ANY OCCUPANTS OF THE BUILDING OF ANY CONSTRUCTION ACTIVITIES WHICH MAY AFFECT THEIR ABILITY TO OPERATE NORMALLY.
3. CONTRACTOR TO MAINTAIN MEANS OF EGRESS THROUGHOUT THE CONSTRUCTION PROGRESS.
4. CONTRACTOR IS DIRECTED TO FOLLOW THE GUIDELINES FOR INFECTION CONTROL RISK ASSESSMENT (ICRA) ESPECIALLY PERTAINING TO DUST CONTROL OF CONSTRUCTION ZONE.
5. CONTRACTOR IS DIRECTED TO PROVIDE NEGATIVE PRESSURE IN CONSTRUCTION AREAS. CONTRACTOR SHALL MAINTAIN DIFFERENTIAL PRESSURE OF 0.01 WATER GAUGE (2.5 PA) MINIMUM BETWEEN THE CONSTRUCTION AREAS AND ADJACENT OCCUPIED AREAS. CONTRACTOR SHALL MONITOR PRESSURE DIFFERENTIAL AND MAINTAIN WRITTEN RECORD OF PRESSURE DIFFERENTIAL DURING CONSTRUCTION.
6. HEPA FILTERS ARE REQUIRED IN ALL NEGATIVE AIR PRESSURE MACHINE AND VACUUMS. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EQUIPMENT AND REPLACEMENT OF HEPA FILTERS AND OTHER FILTERS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
7. CONTRACTOR SHALL CLEAN UP DUST TRACKED OUTSIDE OF CONSTRUCTION AREA IMMEDIATELY.
8. CONTRACTOR TO COORDINATE WITH OWNER WHEN DEMOLITION WILL BEGIN IN ORDER FOR THE OWNER TO REMOVE NECESSARY EQUIPMENT.
9. PROTECT EXISTING WORK WHICH IS TO REMAIN IN PLACE, BE REUSED, OR REMAIN THE PROPERTY OF THE OWNER.
10. REMOVE AND STORE MATERIALS AND EQUIPMENT INDICATED TO BE REUSED OR RELOCATED TO PREVENT DAMAGE, AND REINSTALL AS THE WORK PROGRESSES.
11. PROVIDE SHORING, BRACING, AND SUPPORTS AS REQUIRED TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE PROJECT BEFORE CUTTING OR ALTERING ANY OPENING IN AN EXISTING WALL, FOOTING, FOUNDATION, OR FLOOR.
12. WHERE EXISTING FLOORING, CEILINGS OR WALL FINISHES ARE TO BE REMOVED AND REPLACED WITH NEW FINISHES, SURFACES TO REMAIN SHALL BE STRIPPED CLEAN OF ALL EXISTING FINISHES AND MADE READY TO RECEIVE NEW FINISHES.
13. PROTECT ELECTRICAL AND MECHANICAL SERVICES AND UTILITIES WHERE REMOVAL OF EXISTING UTILITIES AND PAVEMENTS IS SPECIFIED OR INDICATED, PROVIDE APPROVED BARRICADES, TEMPORARY COVERING OF EXPOSED AREAS, AND TEMPORARY SERVICES OR CONNECTIONS FOR ELECTRICAL AND MECHANICAL UTILITIES.
14. REMOVE EXISTING UTILITIES AS INDICATED AND UNCOVERED BY WORK AND TERMINATE IN A MANNER CONFORMING TO THE NATIONALLY RECOGNIZED CODE COVERING THE SPECIFIC UTILITY AND APPROVED BY THE ARCHITECT. IF UTILITY LINES ARE ENCOUNTERED THAT ARE NOT SHOWN ON THE DRAWINGS, CONTACT THE ARCHITECT FOR FURTHER INSTRUCTIONS.
15. REMOVE AND TRANSPORT DEBRIS AND RUBBISH IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT AREAS. CLEAN UP SPILLAGE FROM ADJACENT AREAS, IN COMPLIANCE WITH ALL LOCAL AND STATE REQUIREMENTS.
16. THE INFORMATION CONTAINED ON THESE DRAWINGS WITH REGARD TO THE EXISTING CONDITIONS OF CONSTRUCTION IN NO WAY RELEASES THE GENERAL CONTRACTOR FROM THE RESPONSIBILITY FOR VERIFYING COMPLETELY ALL FIELD CONDITIONS RELATING TO AND AFFECTING THE EXECUTION OF THE WORK, AS DESCRIBED IN THESE CONTRACT DOCUMENTS.
17. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO FIELD VERIFY AND DOCUMENT ALL EXISTING DIMENSIONS, ELEVATIONS AND BENCHMARKS, MATERIALS AND METHODS ON CONSTRUCTION THAT MAY AFFECT OR BE AFFECTED BY NEW WORK, AND TO COORDINATE SUCH FIELD VERIFICATION WITH THE CONTRACT DOCUMENTS AND THE EXECUTION OF THE WORK. DISCREPANCIES AND/OR CONFLICTS INVOLVING ANTICIPATED EXISTING CONDITIONS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY.
18. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ASSIST THE ARCHITECT IN MAKING THEIR EVALUATIONS AND RECOMMENDATIONS BY PROVIDING IN A TIMELY MANNER, AT NO ADDITIONAL COST TO THE OWNER, ACCURATE AND COMPLETE DRAWINGS, SKETCHES, AND PHOTOGRAPHS SUFFICIENT TO CLEARLY DESCRIBE DISCREPANCIES, CONFLICTS, AND CONCEALED OR OTHERWISE UNANTICIPATED EXISTING CONDITIONS AFFECTING NEW CONSTRUCTION. THE GENERAL CONTRACTOR SHALL FURTHER THE ARCHITECT BY PROVIDING IN A TIMELY MANNER PREPARED SOLUTIONS TO UNANTICIPATED EXISTING CONDITIONS.
19. THE ARCHITECT HAS ENDEAVORED TO IDENTIFY AS COMPLETELY AS POSSIBLE IN THE DRAWINGS AND SPECIFICATIONS EXISTING ITEMS OR EQUIPMENT AND CONSTRUCTION THAT ARE REQUIRED TO BE REMOVED OR OTHERWISE DEMOLISHED SO AS TO ALLOW THE EXECUTION OF NEW WORK. THE INFORMATION IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR, AND IS IN NO WAY INTENDED TO MEAN THAT DEMOLITION IS LIMITED ONLY TO THOSE ITEMS SPECIFICALLY IDENTIFIED. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO EXECUTE DEMOLITION WORK AS REQUIRED TO ALLOW THE EXECUTION OF NEW WORK.
20. ALL AREAS ABOVE, BELOW OR ON THE EXISTING CEILING THAT ARE AFFECTED BY INSTALLATION OF NEW WORK SHALL BE REPAIRED COMPLETELY WITH MATERIALS AND PRODUCTS TO MATCH EXISTING INSTALLATION, FIRE-RATED AND/OR SMOKE ASSEMBLIES. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ANY UNFINISHED WALL AREAS THAT MAY BE EXPOSED AS A RESULT OF ADJUSTING FINISHED CEILING HEIGHTS.
21. THE CONTRACTOR IS RESPONSIBLE FOR FINISHING THESE AREAS TO MATCH EXISTING ADJACENT FINISHED AREAS, FIRE-RATED AND/OR SMOKE ASSEMBLIES. CONTRACTOR SHALL FILL AND PATCH ALL OPENINGS AND HOLES LEFT AFTER DEMOLITION, SEAL AROUND ALL PIPING, DUCTS, ETC. AND ENSURE THE INTEGRITY OF ALL REQUIRED FIRE AND/OR SMOKE SEPARATIONS IN ACCORDANCE WITH APPLICABLE CODES AND ORDINANCES
22. THE GENERAL CONTRACTOR AND AFFECTED SUBCONTRACTORS SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTING A PROPOSAL. THE CONTRACTOR SHALL BECOME GENERALLY FAMILIAR WITH THE PROJECT, AND WITH THE IMPACT OF THE NEW WORK ON THE EXISTING CONDITIONS. ANY AREAS OF CONCERN SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO SUBMITTING A PROPOSAL. NO ADDITIONAL CHARGE TO THE OWNER WILL BE APPROVED WHICH IS ATTRIBUTABLE TO THE CONTRACTOR'S FAILURE TO DO THIS.



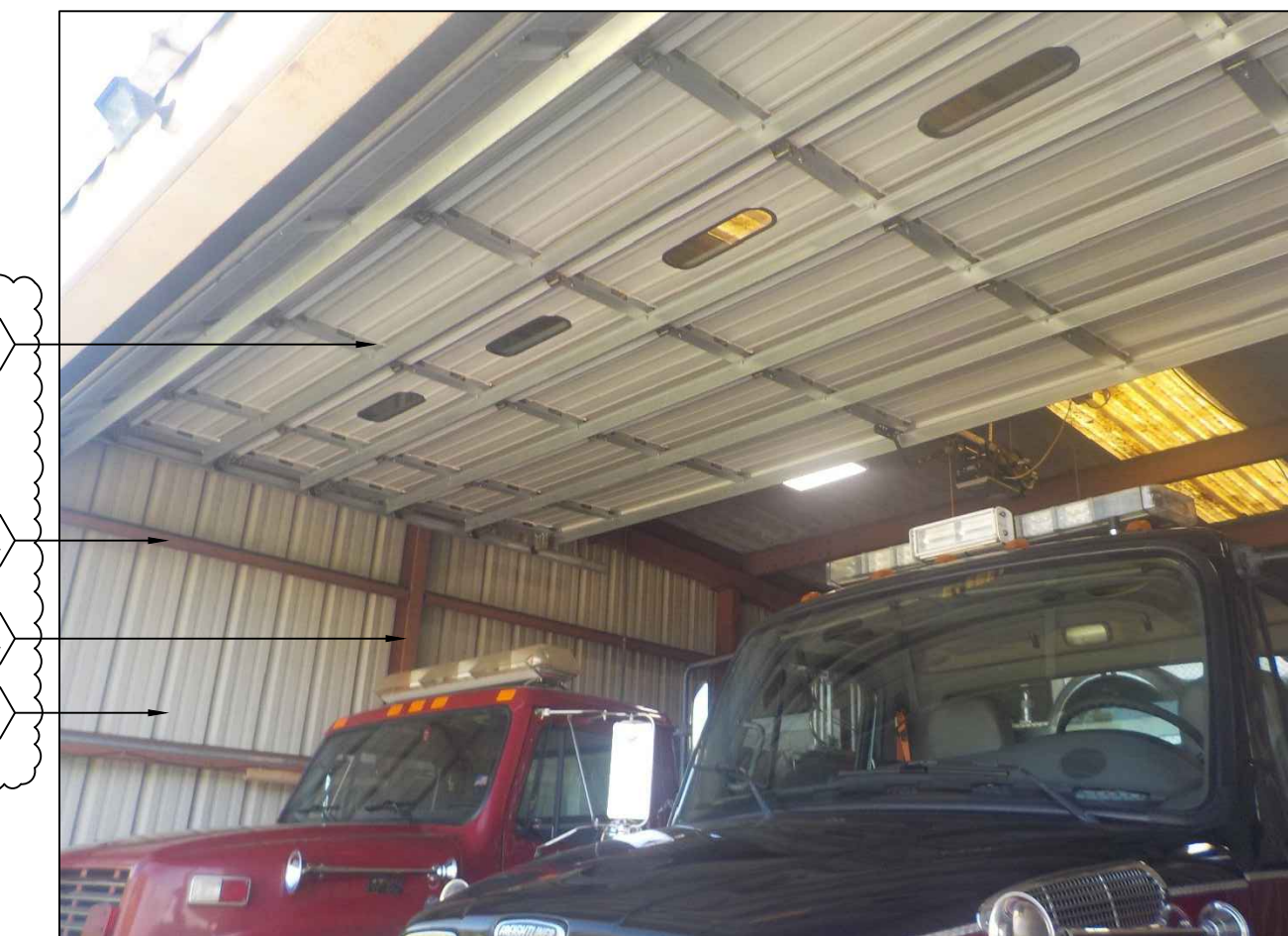
3 EXISTING BUILDING
SCALE: N.T.S.



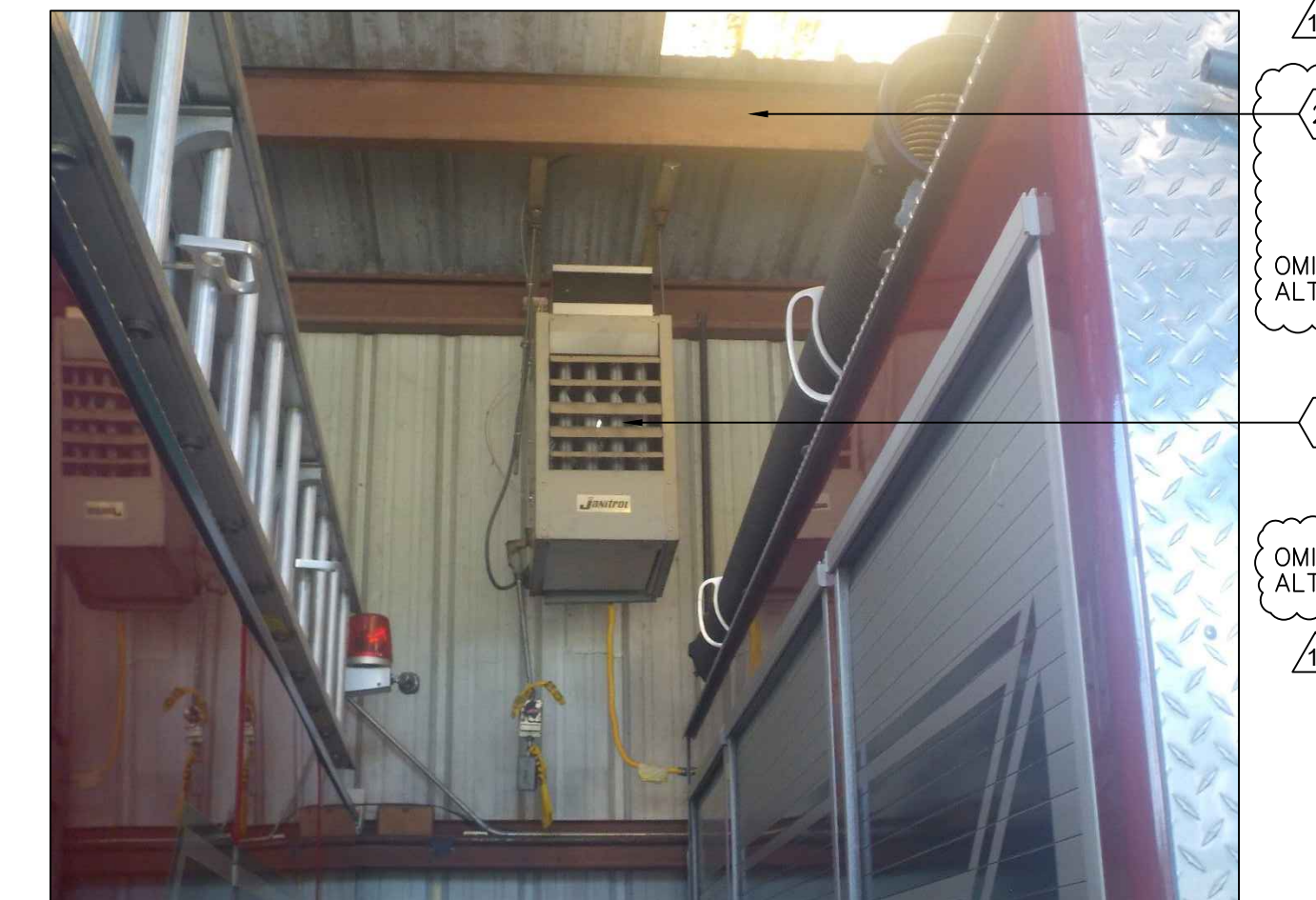
4 EXISTING BUILDING
SCALE: N.T.S.



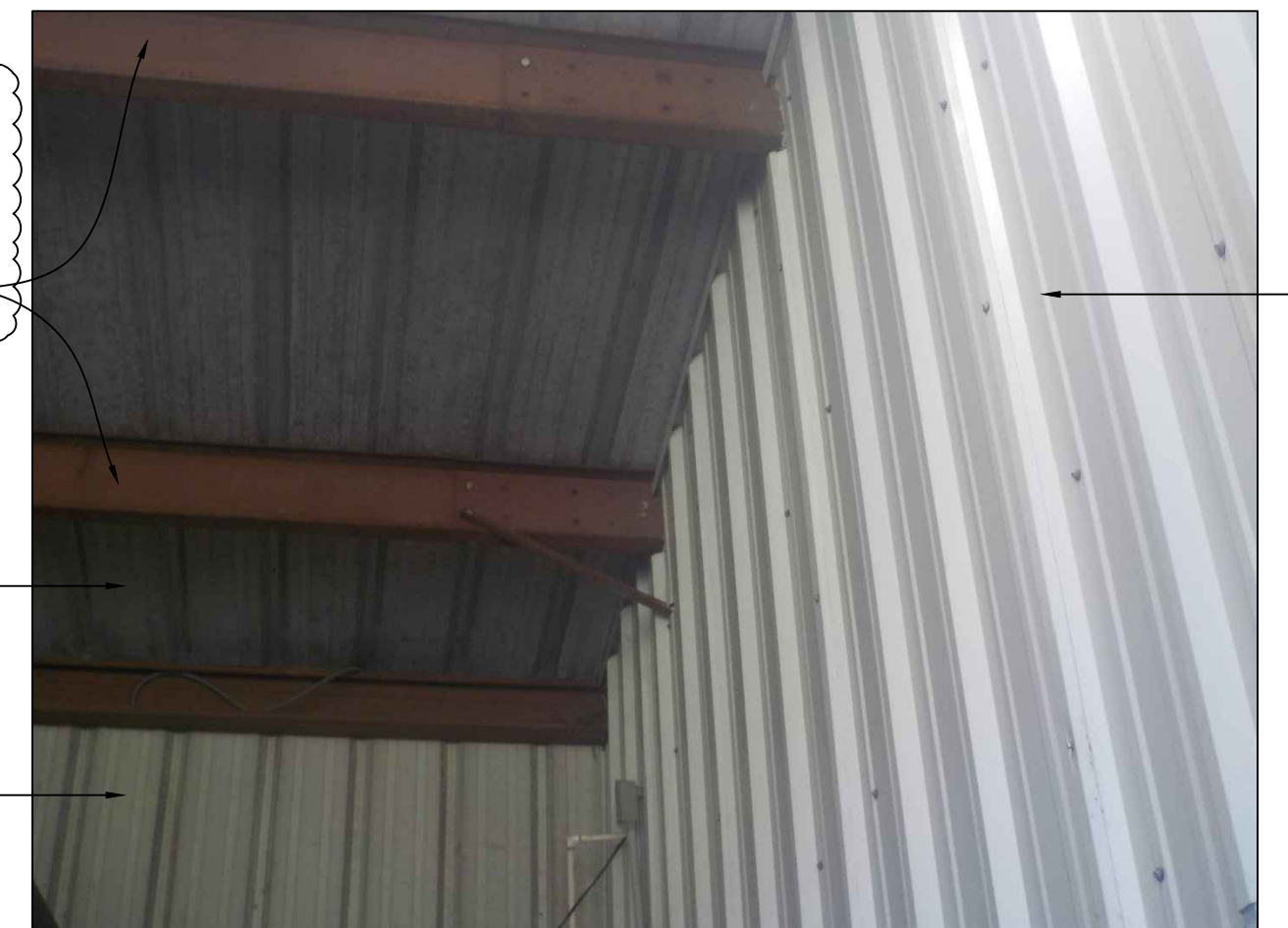
5 EXISTING BUILDING
SCALE: N.T.S.



6 EXISTING BUILDING
SCALE: N.T.S.



7 EXISTING BUILDING
SCALE: N.T.S.



8 EXISTING BUILDING
SCALE: N.T.S.



2 EXISTING BUILDING
SCALE: N.T.S.

LEGEND

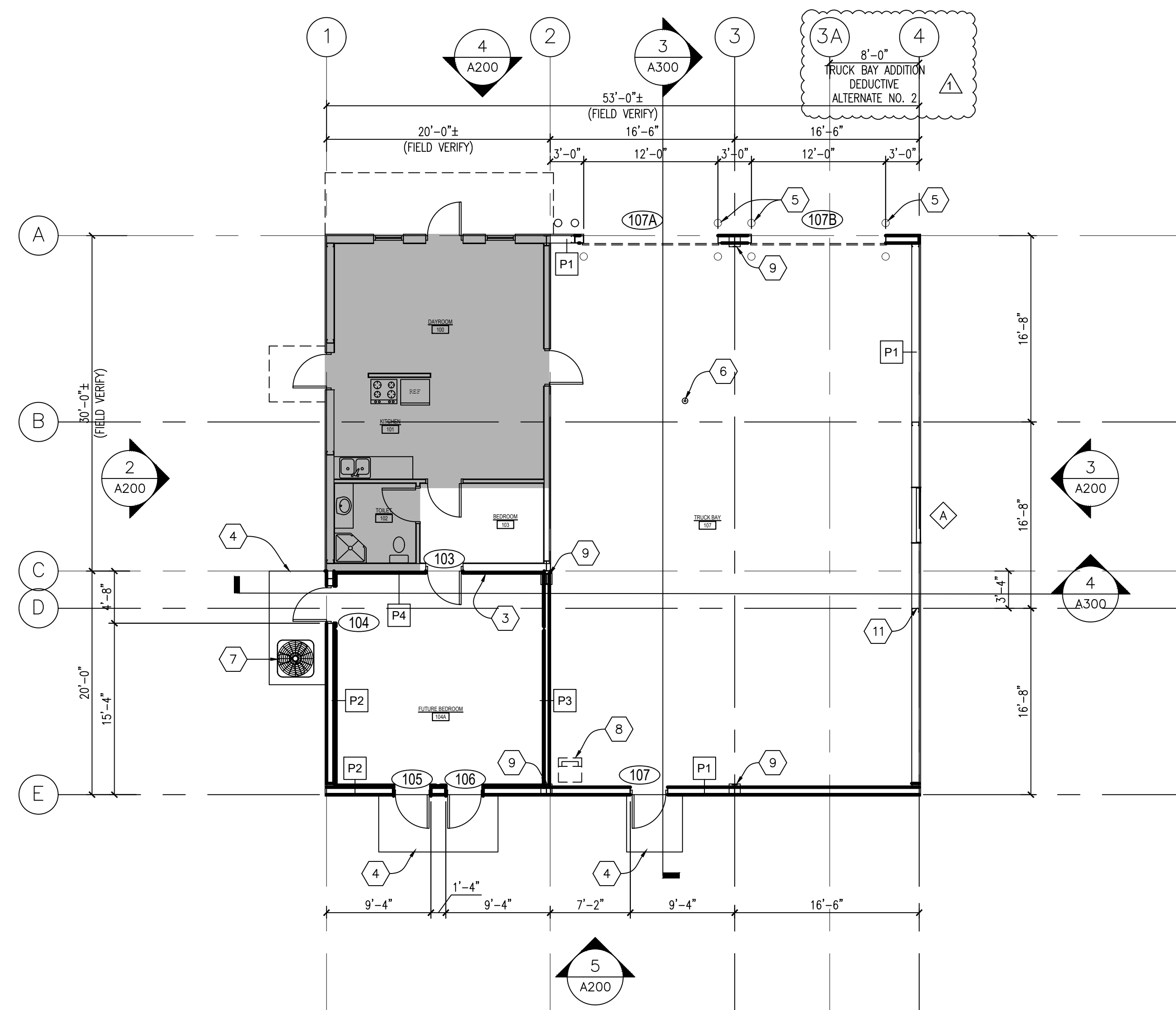
- EXISTING PARTITION TO REMAIN.
- REMOVE EXISTING WALL, PATCH ADJACENT WALL AND MAINTAIN EXISTING FIRE PARTITION AS REQUIRED.
- REMOVE EXISTING DOOR AND FRAME. PATCH AND REPAIR ALL AFFECTED SURROUNDING WALL AREA AS NECESSARY FOR WALL INFILL.
- EXISTING FIRE PARTITION TO REMAIN.
- NO WORK IN THIS AREA.
- REMOVE PORTION OF EXISTING CONCRETE, REFER STRUCT. DOCS.

REVISION:	
1/4/2024	
CHK: smj	DRAWN: JYT
FILE NAME:	A001.dwg
DATE:	9.DEC.2023
TITLE:	DEMOLITION PLAN

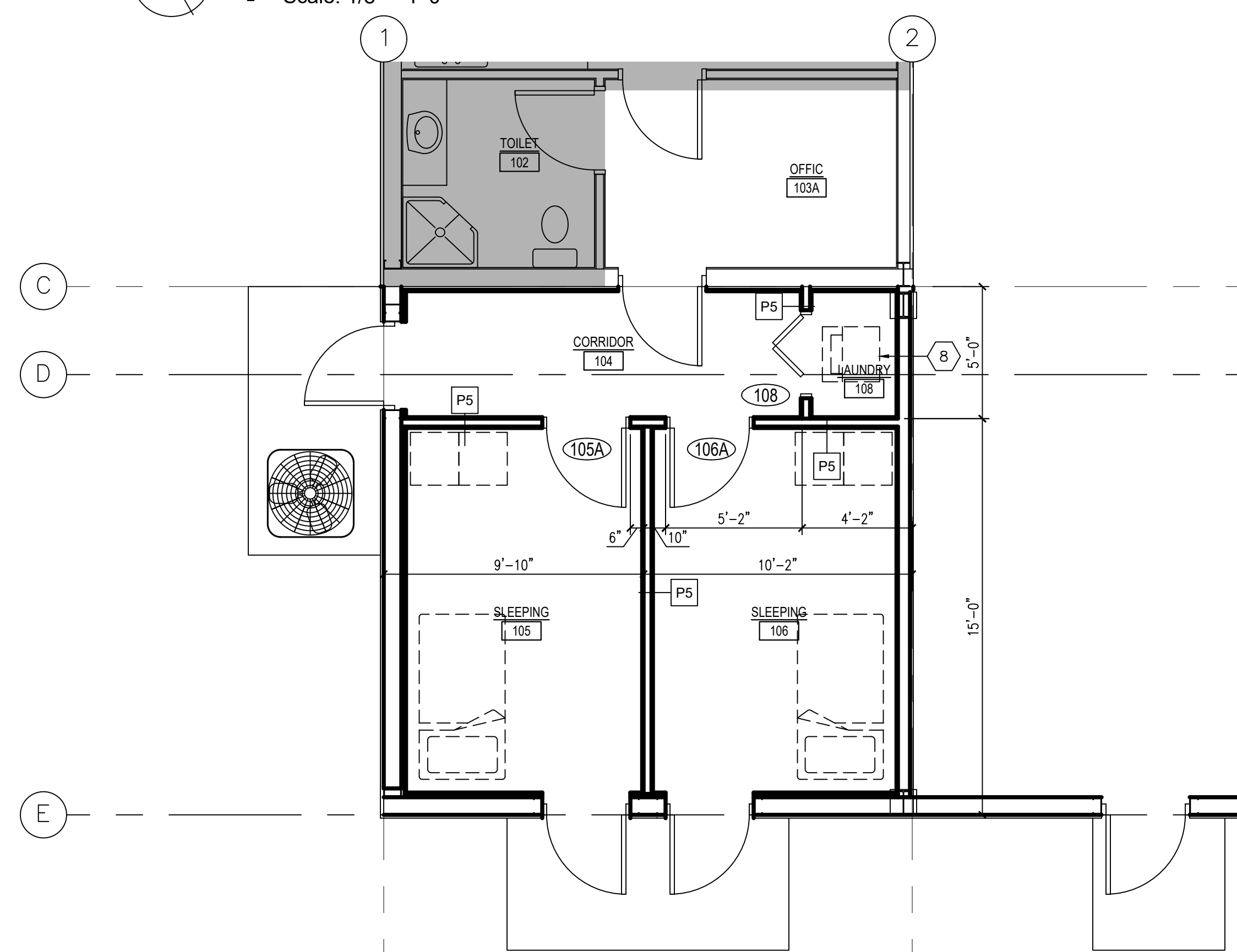


SEAL:

BROWNSFIELD FIRE STATION No. 72 ADDITION
6850 Kent Drive, Baker, LA 70714



1 FLOOR PLAN (BASE BID)
Scale: 1/8" = 1'-0"



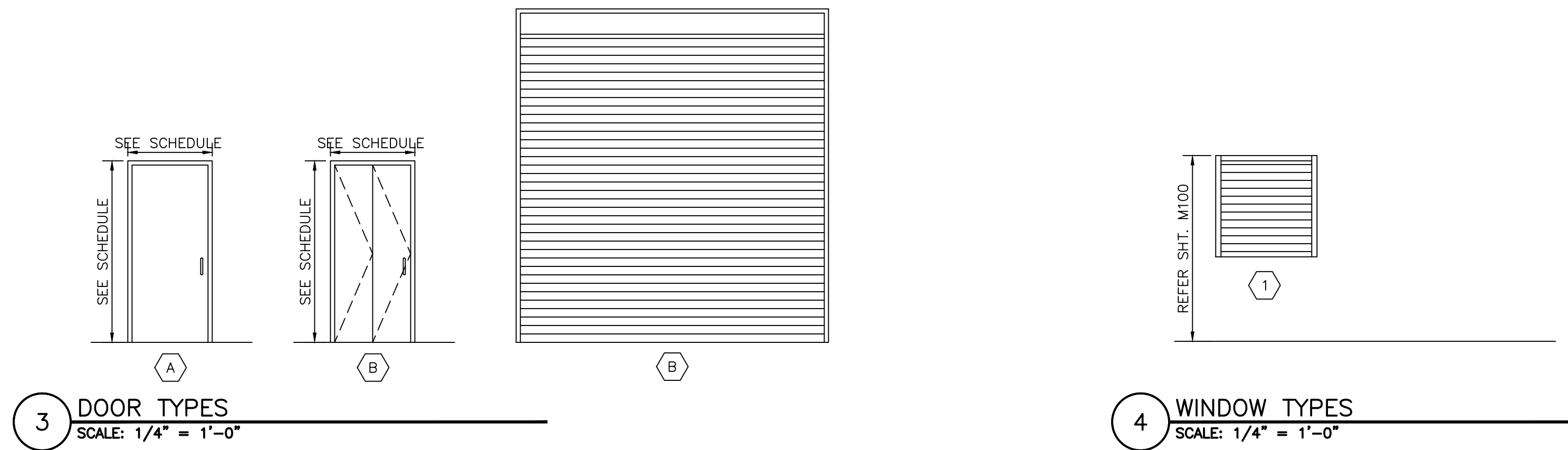
2 ENLARGED FLOOR PLAN (ADD ALT#1)
Scale: 1/4" = 1'-0"

PARTITION TYPE

- P1 PARTITION TYPE 1 - PRE-FINISHED METAL PANEL WITH VERTICAL SUB-GIRT, 2X6 TREATED WOOD STUDS @ 16" O.C., & METAL WALL LINER PANEL UP TO 8'-0" A.F.F. (SEE DETAIL 1/A500)
- P2 PARTITION TYPE 2 - PRE-FINISHED METAL PANEL WITH VERTICAL SUB-GIRT, 2X6 TREATED WOOD STUDS @ 16" O.C., & 5/8" GYP. BOARD UP TO 9'-6" A.F.F. (SEE DETAIL 2/A500)
- P3 PARTITION TYPE 3 - (2 HR RATED) 2X4 WOOD STUD @ 16" O.C. WITH (2) LAYERS OF FIRE RESISTANT 5/8" GYPSUM WALL BOARD, BOTH SIDES AND METAL LINER PANEL UP TO 8'-0" A.F.F. (SEE DETAIL 3/A500)
- P4 PARTITION TYPE 4 - 2X4 WOOD STUD INFILL BETWEEN EXISTING GIRT WITH 5/8" GYPSUM BOARD ON ONE SIDE (SEE DETAIL 4/A500)
- P5 PARTITION TYPE 5 - 2X4 WOOD STUD @ 16" O.C. WITH 5/8" GYPSUM BOARD ON BOTH SIDE (SEE DETAIL 5/A500)

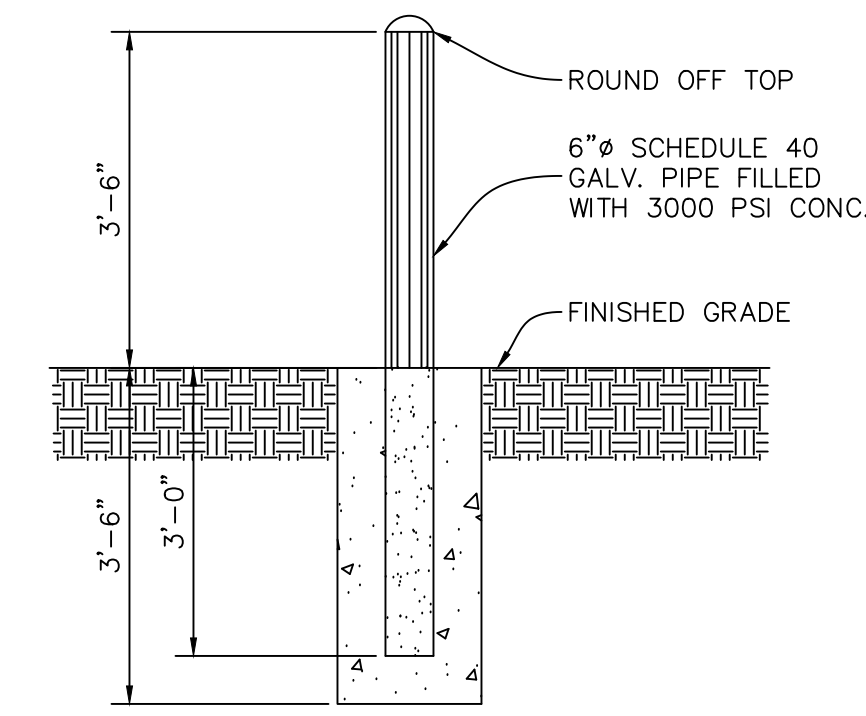
KEYNOTES

- 1 PRE-ENGINEERED PRE-FINISHED STEEL CANOPY BY METAL BUILDING MFR. (SEE DETAIL 1/A400)
- 2 KYNAR PREFINISHED 4" DOWNSPOUTS (COLOR BY A/E)
- 3 FIRE EXTINGUISHER 10# (4A-60B,C RATING) WITH SEMI-RECESSED CABINET
- 4 CONCRETE PAD, REFER STRUCTURAL
- 5 PIPE BOLLARD (SEE DETAIL 5/A100) OMIT AT ALTERNATE NO. 2
- 6 EXISTING FLOOR DRAIN
- 7 NEW LOCATION OF EXISTING A/C
- 8 EXISTING WASHER AND DRYER (CONTRACTOR INSTALL)
- 9 RIGID FRAME, PAINTED
- 10 BRACING (SEE STRUCTURAL)
- 11 NON-EXPANDABLE END FRAME, PAINTED
- 12 AT ALTERNATE



3 DOOR TYPES
SCALE: 1/4" = 1'-0"

4 WINDOW TYPES
SCALE: 1/4" = 1'-0"



5 PIPE BOLLARD
SCALE: 1/2" = 1'-0"

FINISH SCHEDULE										
NO.	ROOM	FLOOR	BASE	WALLS	CEILING	HGT.	REMARKS			
100	EXISTING DAYROOM		EXISTING SEALED CONCRETE	EXISTING 6" RUBBER COVE NO BASE	EXISTING PAINTED GYPSUM BOARD METAL LINER PANEL (8'-0" HIGH) GYPSUM BOARD	EXISTING 2X2 ACOUSTICAL CEILING TILE	EXPOSED STRUCTURE PAINTED			EXG.
101	EXISTING KITCHEN									EXG.
102	EXISTING TOILET									EXG.
103	EXISTING BEDROOM									EXG.
104A	FUTURE EXPANSION									VARIES
107	TRUCK BAY									VARIES
103A	OFFICE									EXG.
104	CORRIDOR									9'-0"
105	BEDROOM									9'-0"
106	BEDROOM									9'-0"
108	LAUNDRY									9'-0"

DOOR SCHEDULE													
MK.	PR.	WIDTH	HEIGHT	THK.	DESCRIPTION	HEAD	JAMB	SILL	HDWR.	TYPE	FRM.	RATING	REMARKS
103	EXG.	3'-0"	7'-0"	1 3/4"	EXISTING EXTERIOR DOOR	9/A500	14/A500	19/A500		-	-		INTERIOR ADA EXIT SIGN
104		3'-0"	7'-0"	1 3/4"	EXTERIOR HOLLOW METAL	8/A500	13/A500	18/A500		A	H.M.		INTERIOR ADA EXIT SIGN
105		3'-0"	7'-0"	1 3/4"	EXTERIOR HOLLOW METAL	8/A500	13/A500	18/A500		A	H.M.		ALTERNATE #1 ONLY (INTERIOR ADA EXIT SIGN)
105A		3'-0"	7'-0"	1 3/4"	INTERIOR WOOD	10/A500	15/A500			A	H.M.		ALTERNATE #1 ONLY
106		3'-0"	7'-0"	1 3/4"	EXTERIOR HOLLOW METAL	8/A500	13/A500	18/A500		A	H.M.		INTERIOR ADA EXIT SIGN
106A		3'-0"	7'-0"	1 3/4"	INTERIOR WOOD	10/A500	15/A500			A	H.M.		ALTERNATE #1 ONLY
107	EXG.	3'-0"	7'-0"	1 3/4"	EXTERIOR HOLLOW METAL	8/A500	13/A500	18/A500		-	H.M.		INTERIOR ADA EXIT SIGN
107A		12'-0"	12'-0"	1 3/4"	EXTERIOR OVERHEAD COILING	6/A500	11/A500	16/A500		C	S.S.		OMIT AT ALTERNATE NO. 2
107B		12'-0"	12'-0"	1 3/4"	EXTERIOR OVERHEAD COILING	6/A500	11/A500	16/A500		C	S.S.		OMIT AT ALTERNATE NO. 2
108		3'-0"	7'-0"	1 3/4"	INTERIOR WOOD	10/A500	15/A500			B	WD.		ALTERNATE #1 ONLY

WINDOW SCHEDULE								
MK.	WIDTH	HEIGHT	DESCRIPTION	HEAD	JAMB	SILL	TYPE	REMARKS
A	4'-0"	4'-0"	EXTERIOR LOUVER	7/A500	12/A500	17/A500	1	

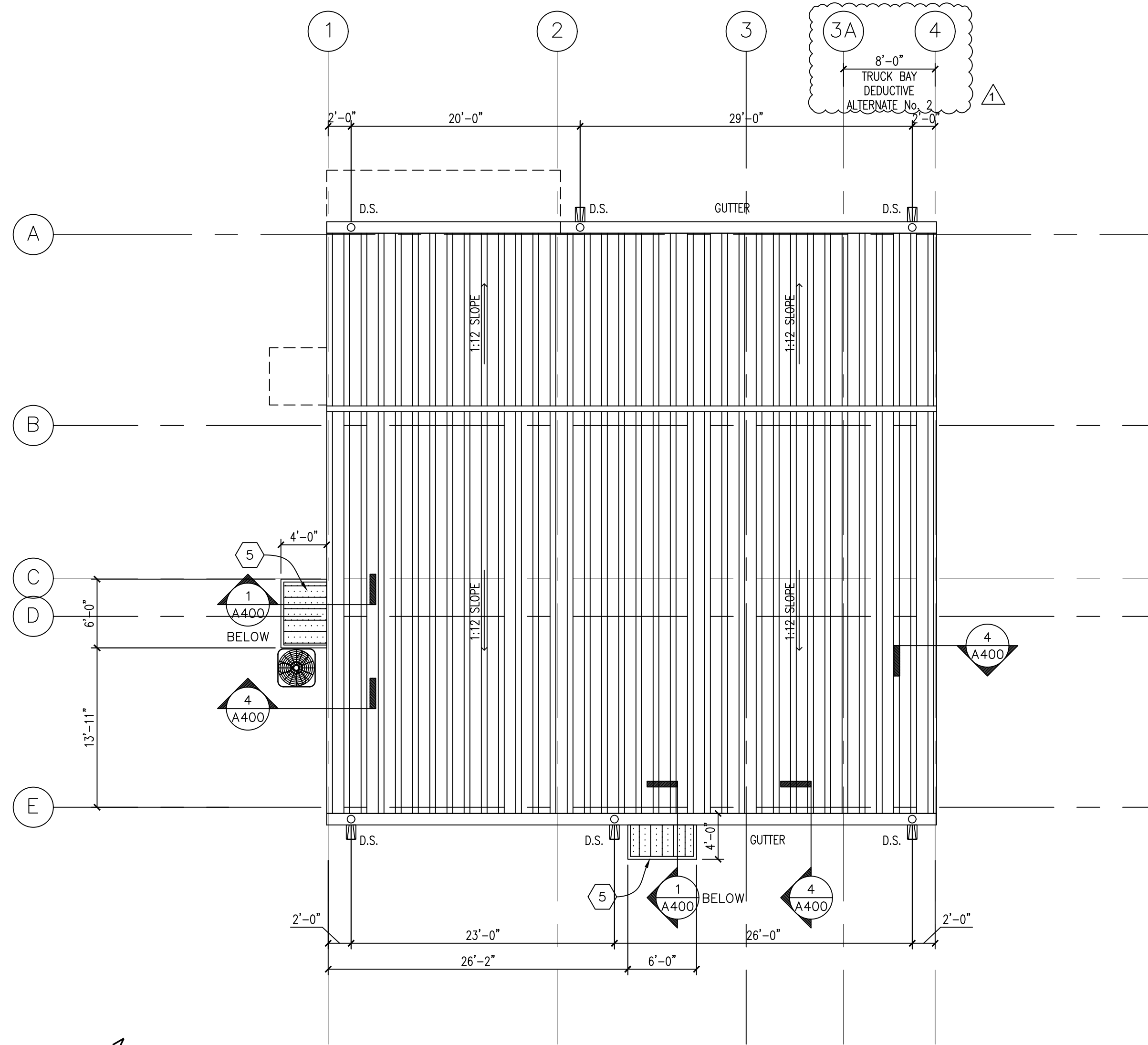
REVISION:
CHK: smj DRAWN: JYT
FILE NAME: A001.dwg
DATE: 9.DEC.2023
TITLE: FLOOR PLAN



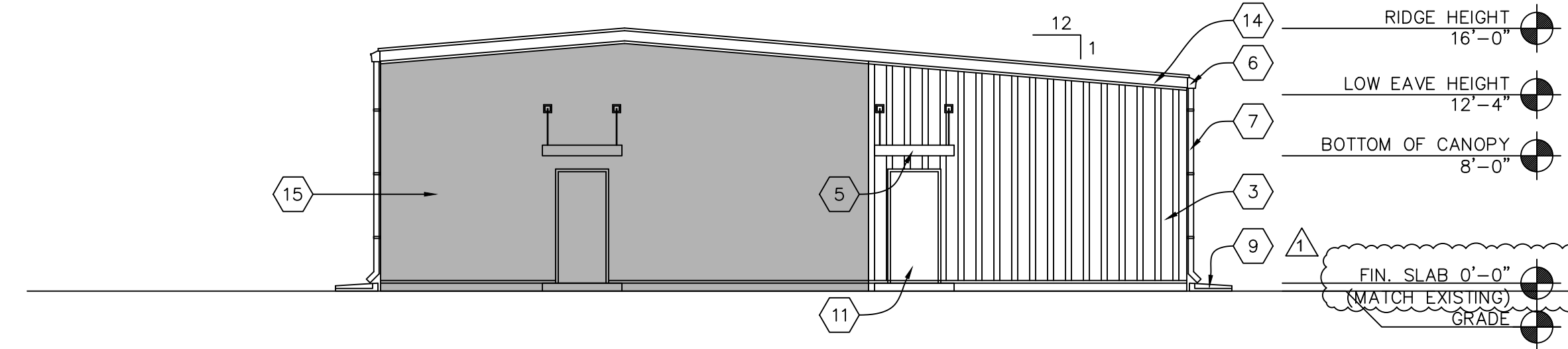
SEAL:

KEYNOTES

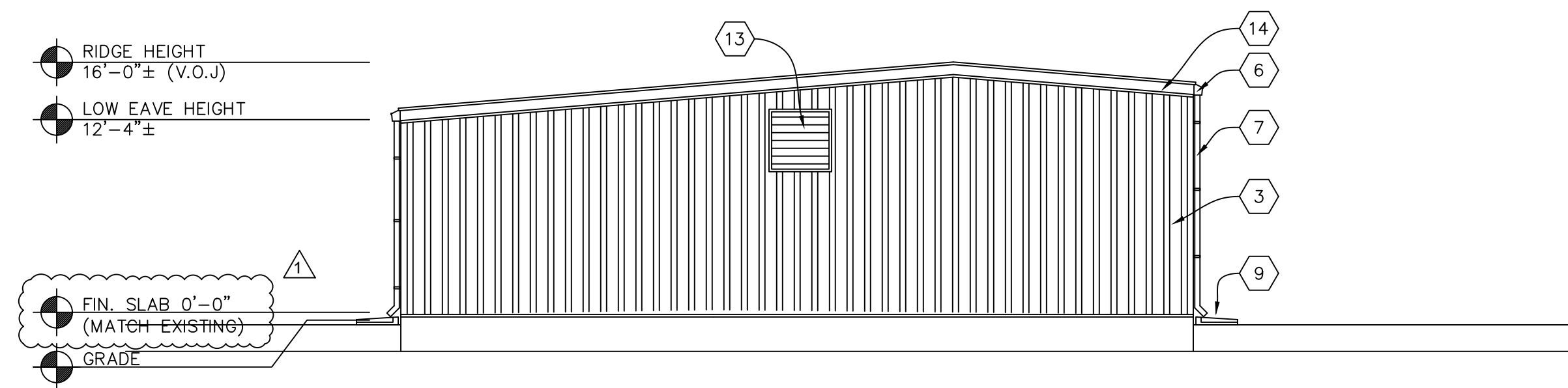
- 1 PREFINISHED METAL ROOF (COLOR BY A/E)
- 2 PREFINISHED RIDGE CAP (COLOR BY A/E)
- 3 PREFINISHED METAL WALL PANELS (COLOR BY A/E)
- 4 SKYLIGHT, (SEE SPECS.)
- 5 PRE-ENGINEERED PRE-FINISHED STEEL CANOPY BY METAL BUILDING MFR. (SEE DETAIL 1/A400)
- 6 PREFINISHED 6"x6" GUTTER (COLOR BY A/E)
- 7 PREFINISHED 4"Ø DOWNSPOUTS (COLOR BY A/E)
- 8 GUTTER EXPANSION JOINT, 50'-0" MAX.
- 9 SPLASH BLOCK
- 10 OVERHEAD COILING DOOR (SEE SCHEDULE)
- 11 DOOR (SEE SCHEDULE)
- 12 BOLLARD (SEE DETAIL 4/A100)
- 13 PREFINISHED METAL LOUVER (SEE MECH.)
- 14 PREFINISHED RAKE TRIM
- 15 EXISTING TO REMAIN



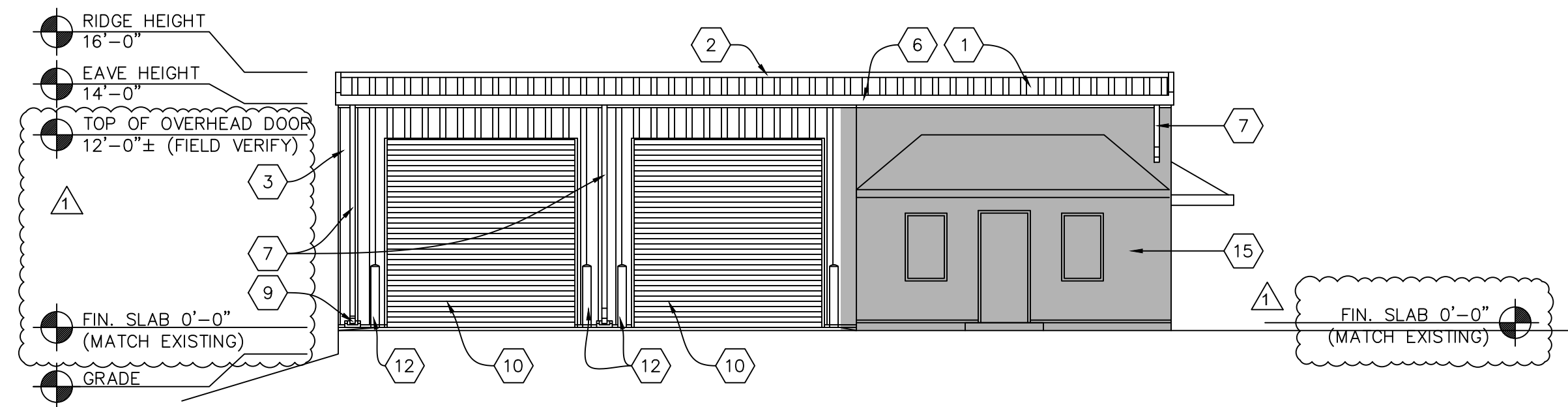
1 ROOF PLAN
Scale: 1/8" = 1'-0"



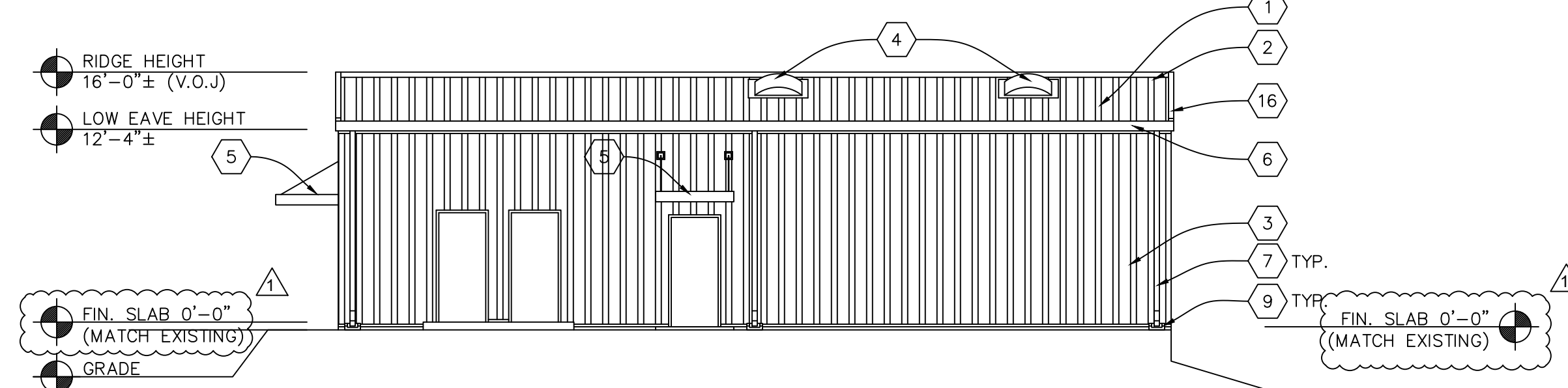
2 WEST ELEVATION
Scale: 1/8" = 1'-0"



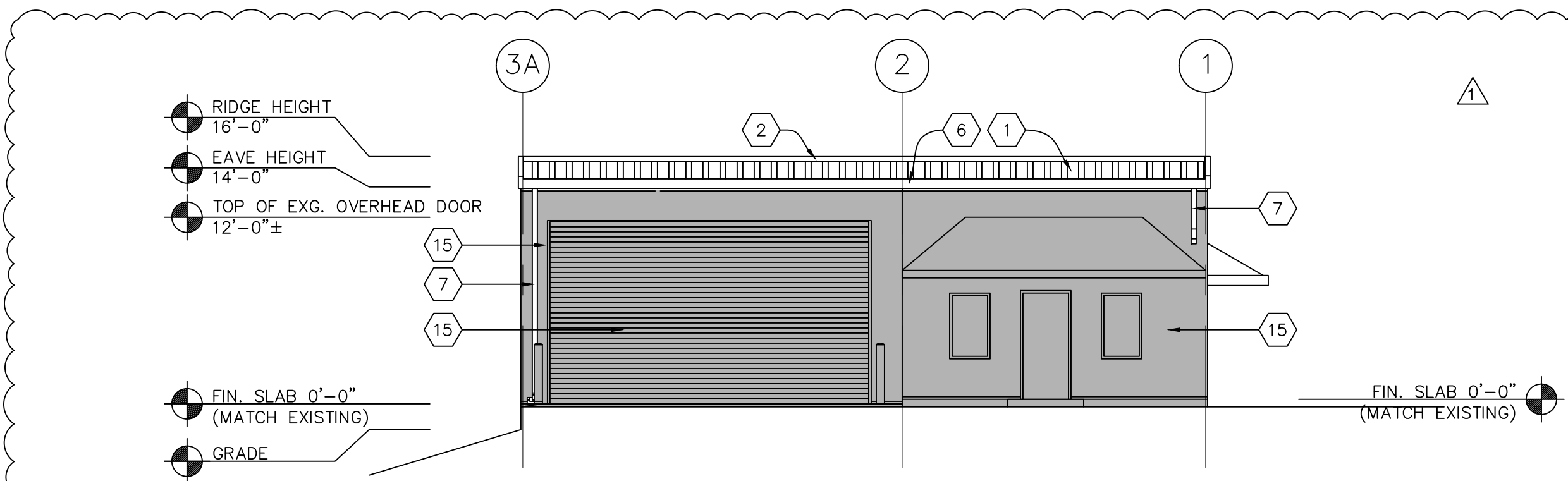
3 EAST ELEVATION
Scale: 1/8" = 1'-0"



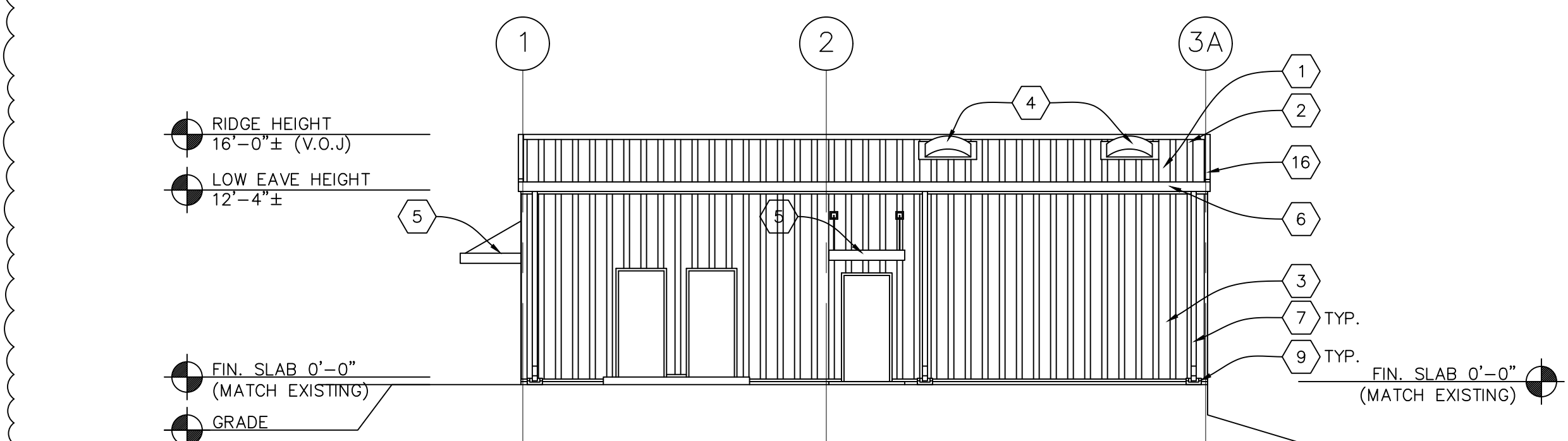
4 NORTH ELEVATION
Scale: 1/8" = 1'-0"



5 SOUTH ELEVATION
Scale: 1/8" = 1'-0"



6 NORTH ELEVATION (ALTERNATE NO. 2)
Scale: 1/8" = 1'-0"



7 SOUTH ELEVATION (ALTERNATE NO. 2)
Scale: 1/8" = 1'-0"

BROWNSFIELD FIRE STATION No. 72 ADDITION
6850 Kent Drive, Baker, LA 70714

REVISION:
1/4/2024

CHK: smj DRAWN: JYT
FILE NAME:
A001.dwg

DATE: 9.DEC.2023
TITLE:

ROOF PLAN &
EXTERIOR
ELEVATIONS



Dept of Buildings and Grounds
Architectural Services Division
1100 Laurel Street, Rm. 227
Baton Rouge, LA 70802
p. (225) 389-4694
f. (225) 389-4704



SEAL:

BROWNSFIELD FIRE STATION No. 72 ADDITION
6850 Kent Drive, Baker, LA 70714

REVISION:	1/4/2024
CHK: smj	DRAWN: JYT
FILE NAME:	A010.dwg
DATE:	9.DEC.2023
TITLE:	REFLECTED CEILING PLAN & BUILDING SECTIONS

A300

REFLECTED CEILING PLAN NOTES:

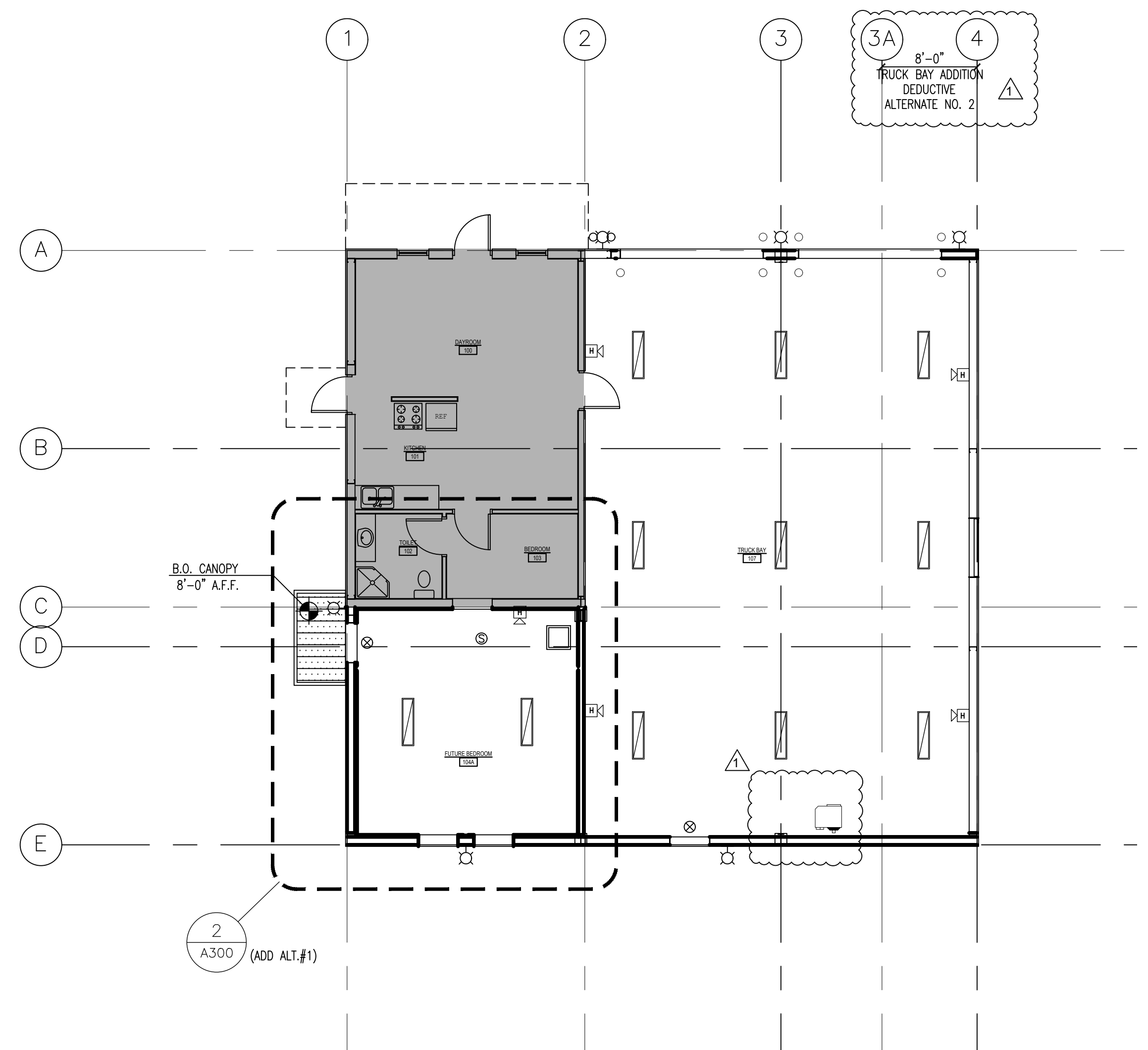
- EMERGENCY LIGHTING FOR MEANS OF EGRESS SHALL BE PROVIDED IN ACCORDANCE WITH IBC 2021
- REFER TO MECHANICAL DRAWINGS FOR LOCATIONS OF FIRE DAMPER REQUIREMENTS IN DUCTWORK.
- REFER TO ELECTRICAL DRAWINGS FOR LOCATION OF FIRE ALARM SYSTEM.
- REFER TO REFLECTED CEILING PLANS AND ELECTRICAL DRAWINGS FOR EXIT LIGHT LOCATIONS.

KEYNOTES

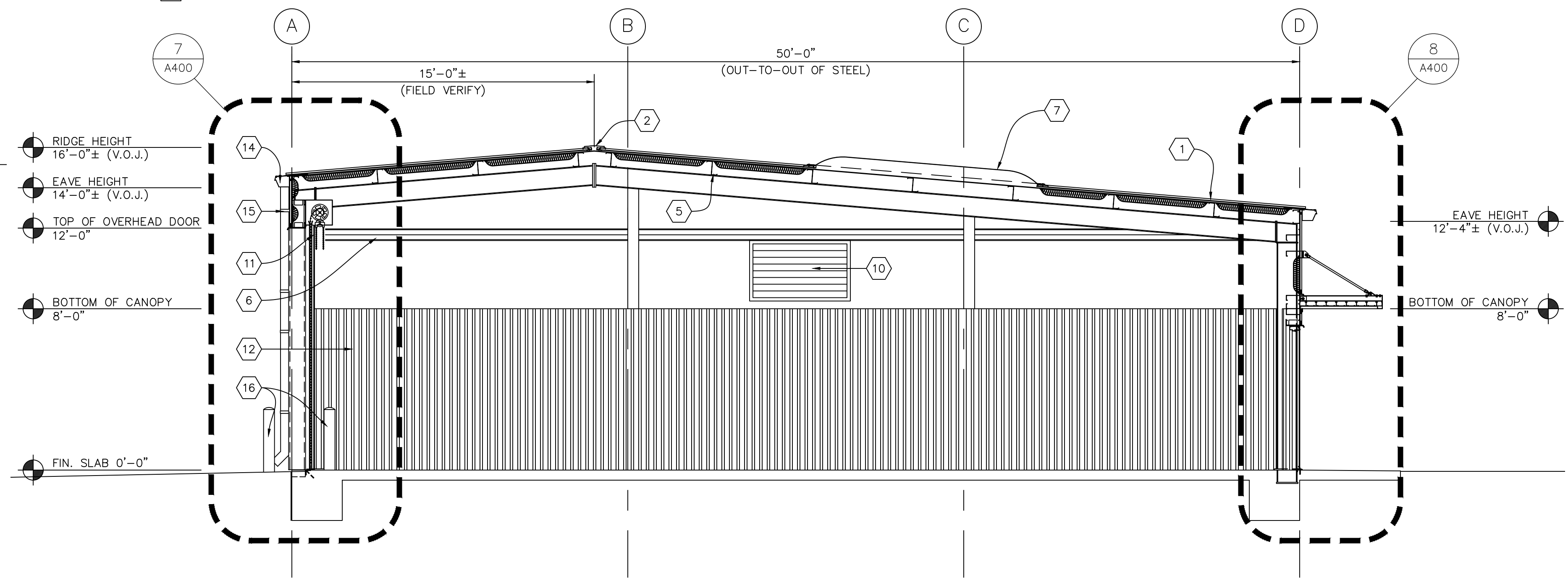
- PREFINISHED METAL ROOF (COLOR BY A/E)
- PREFINISHED METAL RIDGE CAP (COLOR BY A/E)
- PREFINISHED METAL WALL PANELS (COLOR BY A/E)
- PRE-ENGINEERED METAL BUILDING FRAMING, PAINTED
- PURLINS, PAINTED
- GIRTS, PAINTED
- 3'X10' SKYLIGHT (SEE SPECS.)
- PRE-ENGINEERED PRE-FINISHED STEEL CANOPY BY METAL BUILDING MFR. (SEE DETAIL 1/A400)
- FINISH FLOOR (SEE SCHEDULE)
- KYNAR PREFINISHED METAL LOUVER (SEE MECH.)
- NEW OVERHEAD COILING DOOR (OMIT AT ALTERNATE NO. 2); EXISTING OVERHEAD COILING DOOR TO REMAIN AT ALTERNATE NO. 2
- METAL LINER PANEL UP TO 8'-0"
- PREFINISHED METAL RAKE TRIM
- PREFINISHED METAL GUTTER
- PREFINISHED METAL DOWNSPOUT
- BOLLARD (OMIT AT ALTERNATE NO. 2)
- VINYL FACED FIBER GLASS INSULATION

CEILING LEGEND

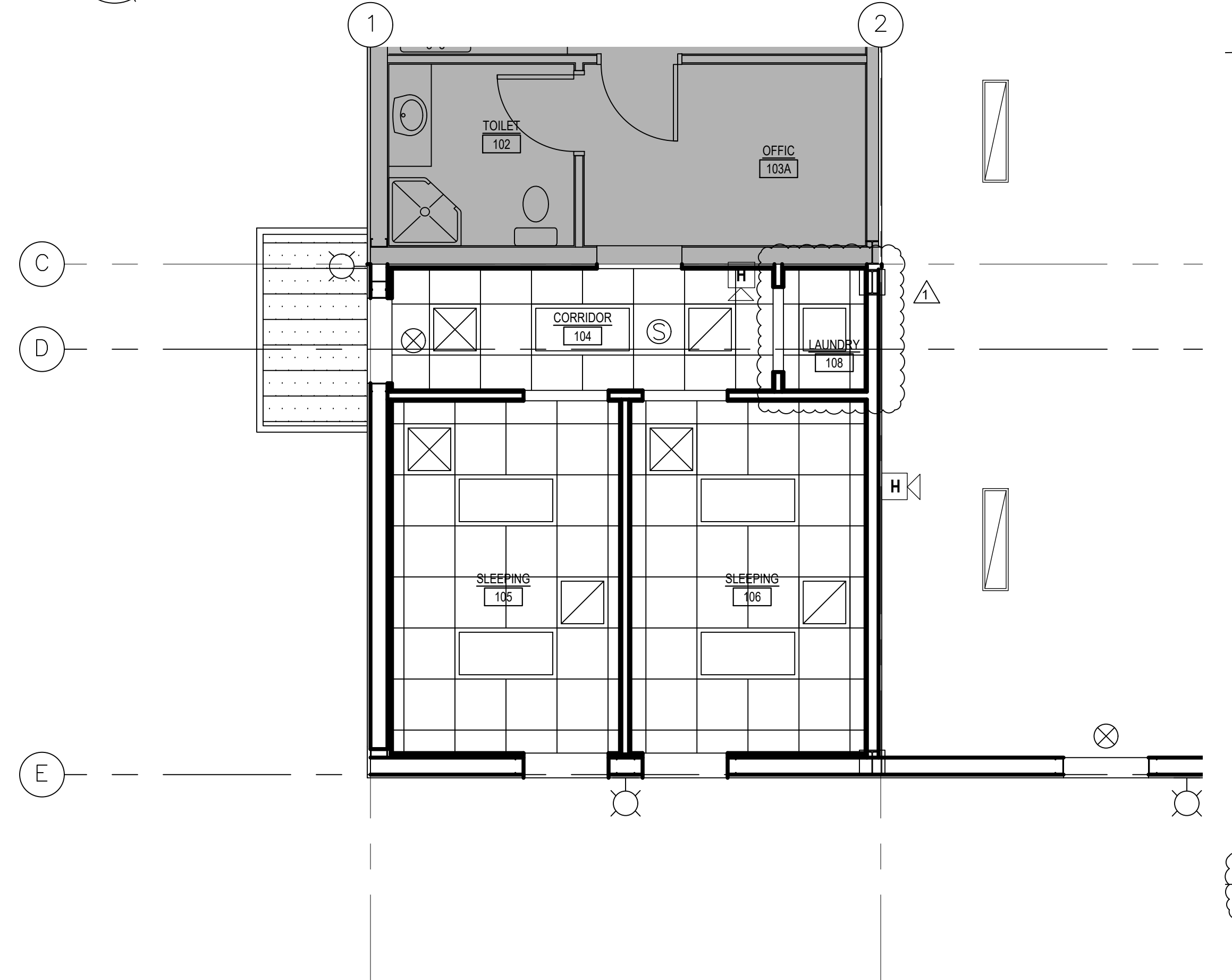
- OPEN TO STRUCTURE ABOVE
- PRE-ENGINEER STEEL CANOPY (SEE SPECS)
- 24"x24" ACOUSTICAL CEILING TILE SYSTEM
- 2X4 LED FIXTURE (BASE OF DESIGN: LITHONIA, VT SERIES LED (VTL), 2'X4' VOLUMETRIC LUMINAIRE)
- 2X2 LED FIXTURE (BASE OF DESIGN: LITHONIA, VT SERIES LED (VTL), 2'X2' VOLUMETRIC LUMINAIRE)
- 1X4 LED FIXTURE
- WALL MOUNTED EXIT LIGHT
- WALL EXTERIOR LED LIGHT
- SMOKE DETECTOR, CEILING MOUNTED
- HORN/SSTROBE DEVICE
- SUPPLY AIR DIFFUSER
- RETURN AIR GRILL



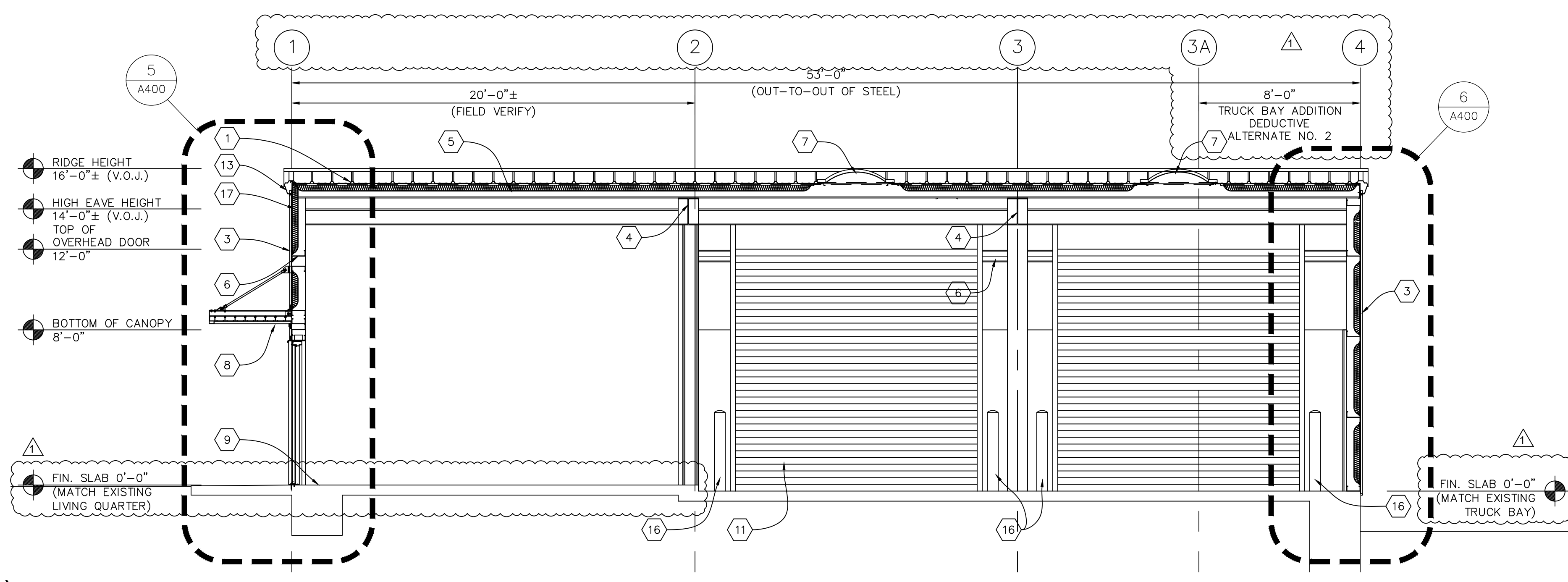
1 REFLECTED CEILING PLAN (BASE BID)
Scale: 1/8" = 1'-0"



3 BUILDING SECTION
Scale: 1/4" = 1'-0"



2 ENLARGED REFLECTED CEILING PLAN (ADD ALT#1)
Scale: 1/4" = 1'-0"



4 BUILDING SECTION
Scale: 1/4" = 1'-0"



SEAL:

KEYNOTES

- ① PROVIDE BOXES, CONDUIT AND WIRING FOR DOOR OPERATOR PUSHBUTTON AND ALL SAFETY SENSORS. PUSHBUTTON AND SAFETY SENSORS FURNISHED BY DOOR MANUFACTURER.
- ② LOCATE A 250 VOLT, 30 AMP, 3-POLE, 4-WIRE SINGLE RECEPTACLE (NEMA 14-30R) FOR DRYER
- ③ WASHING MACHINE VALVE BOX

GENERAL NOTES

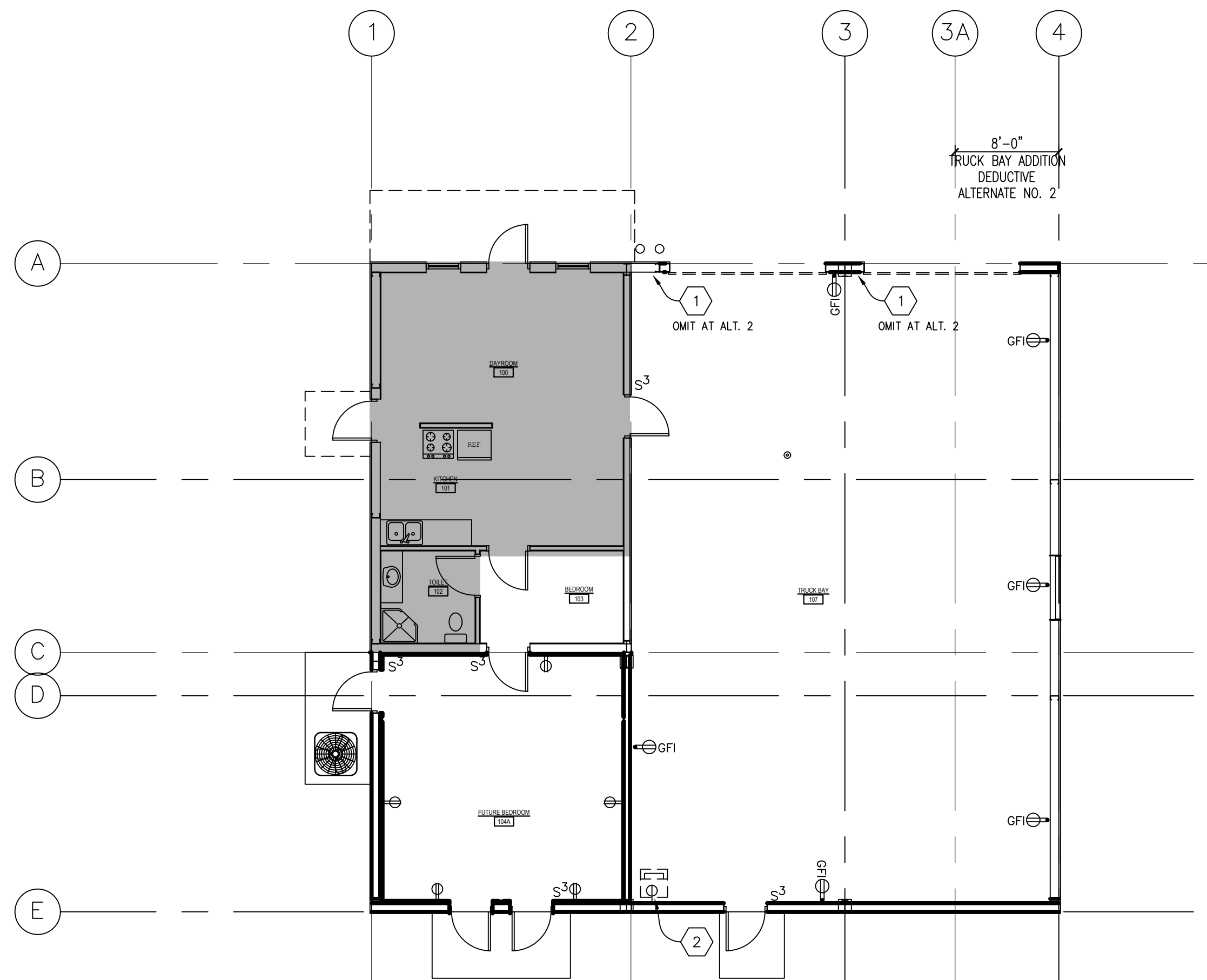
- 1. ELECTRICAL AND PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, NATIONAL PLUMBING CODE, STATE AND CITY REGULATIONS AND ORDINANCES.
- 2. MATERIALS SHALL BE NEW AND U.L. APPROVED, EXCEPT AS INDICATED.
- 3. IN GENERAL, RECEPTACLES SHALL BE INSTALLED AT 18" A.F.F. AND SWITCHES SHALL BE INSTALLED AT 48" A.F.F., UNLESS NOTED OTHERWISE.
- 4. USE MULTI-GANG PLATES WHERE SWITCHES, RECEPTACLES AND/OR DEVICES ARE GROUPED. PROVIDE ENGRAVING OF PLATES TO INDICATE FUNCTIONS (NAMES TO BE APPROVED BY ARCHITECT)
- 5. SINGLE POLE SWITCHES SHALL BE HUBBELL #HBL1221-1, OR EQUAL. DUPLEX RECEPTACLES SHALL BE HUBBELL #J5362-1, OR EQUAL. GFI RECEPTACLES SHALL BE HUBBELL #GFR5362-1TR. SWITCHES USED FOR MOTORIZED EQUIPMENT OR APPLIANCES SHALL BE PROVIDED WITH AN ENGRAVED NAMEPLATE TO IDENTIFY THE LOAD SERVED.
- 6. CONTRACTOR TO ROUTE 4" DRYER DUCT TO DRYER JACK ROOF HOOD MODEL D.J.K486U ON ALL WELDED ALUMINUM PREFABRICATED ROOF CURB FOR SLOPED ROOF INSTALLATION.

ELECTRICAL LEGEND

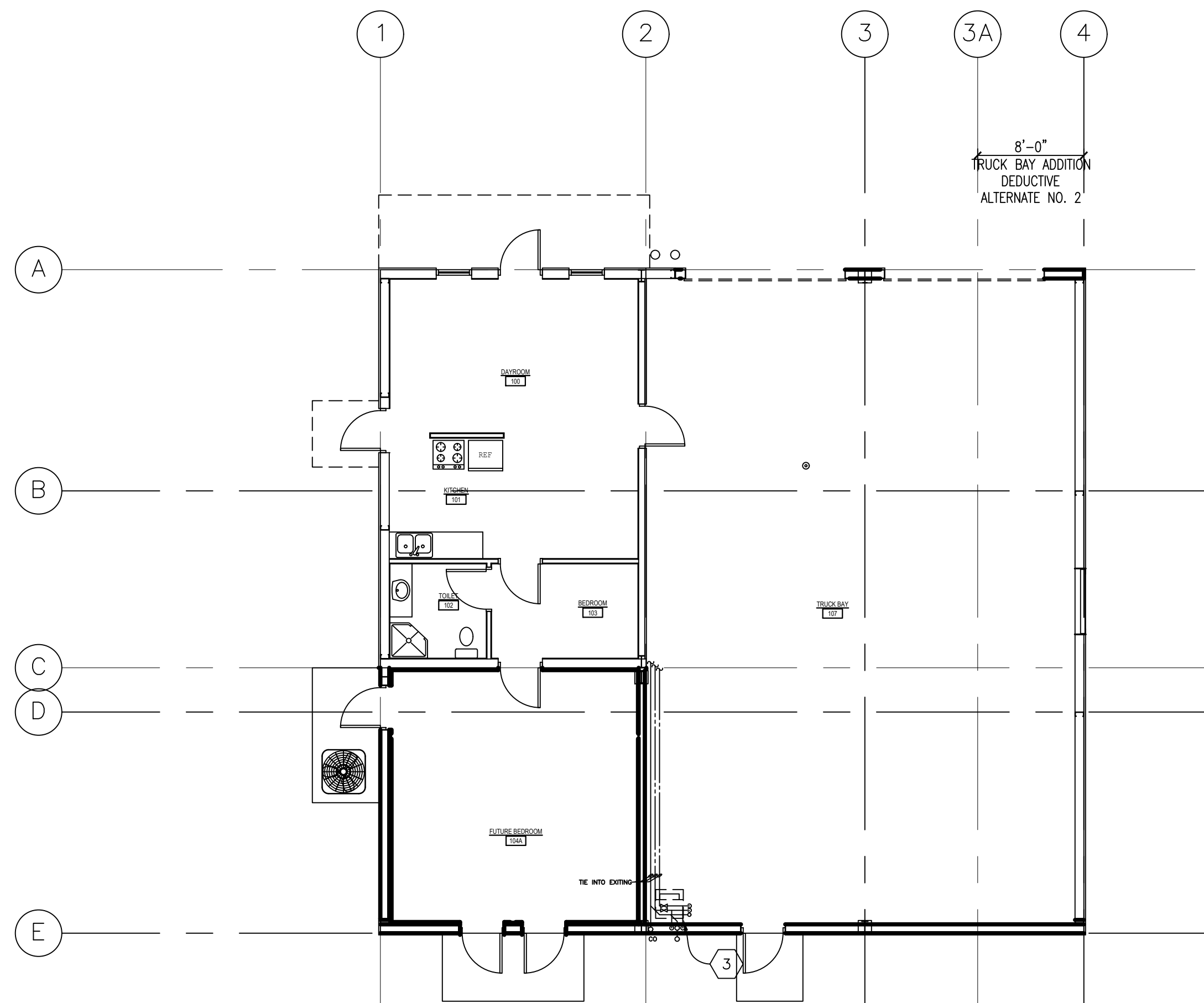
- S 20A/1P WALL SWITCH. SUBSCRIPT DENOTES FIXTURE(S) CONTROLLED.
- S³ 20A THREE-WAY WALL SWITCH. SUBSCRIPT DENOTES FIXTURE(S) CONTROLLED.
- ⊕ 20A/2P, 3-WIRE, 125V, GROUNDING TYPE DUPLEX RECEPTACLE, NEMA 5-20R.
- ⊕ QUADRAPLEX RECEPTACLE
- ⊕ SPECIAL RECEPTACLE
- PC ⊕ SAME AS ⊕ EXCEPT DEDICATED CIRCUIT FOR COMPUTER.
- GFI ⊕ SAME AS ⊕ EXCEPT WITH GROUND FAULT INTERRUPTER, 48" AFF.
- ① JUNCTION BOX 4 11/16" OR LESS, WALL MOUNTED.
- ② JUNCTION BOX 4 11/16" OR LESS, LOCATED IN ACCESSIBLE PLACE ABOVE REMOVABLE CEILING.
- Ⓢ CABLE TV OUTLET, WALL MOUNTED
- ▶ TELEPHONE/COMPUTER OUTLET WITH 1" CONCEALED RACEWAY STUBBED UP ABOVE ACCESSIBLE CEILING AND BUSHED.

PLUMBING LEGEND

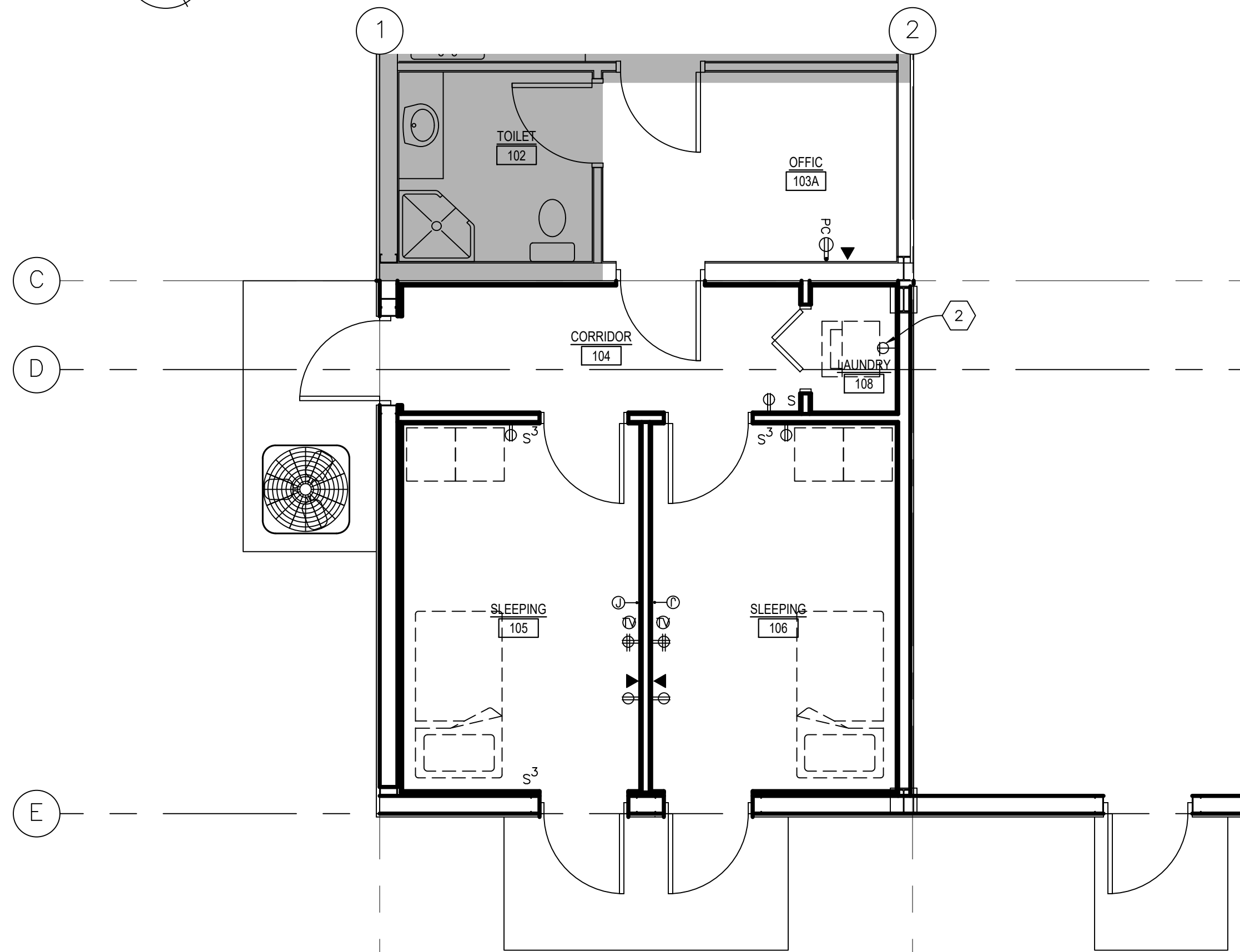
- SOIL AND WASTE PIPING
- - - VENT PIPING
- COLD WATER PIPING
- HOT WATER PIPING
- SHUT-OFF VALVE
- VTR VENT THRU ROOF
- CO CLEANOUT



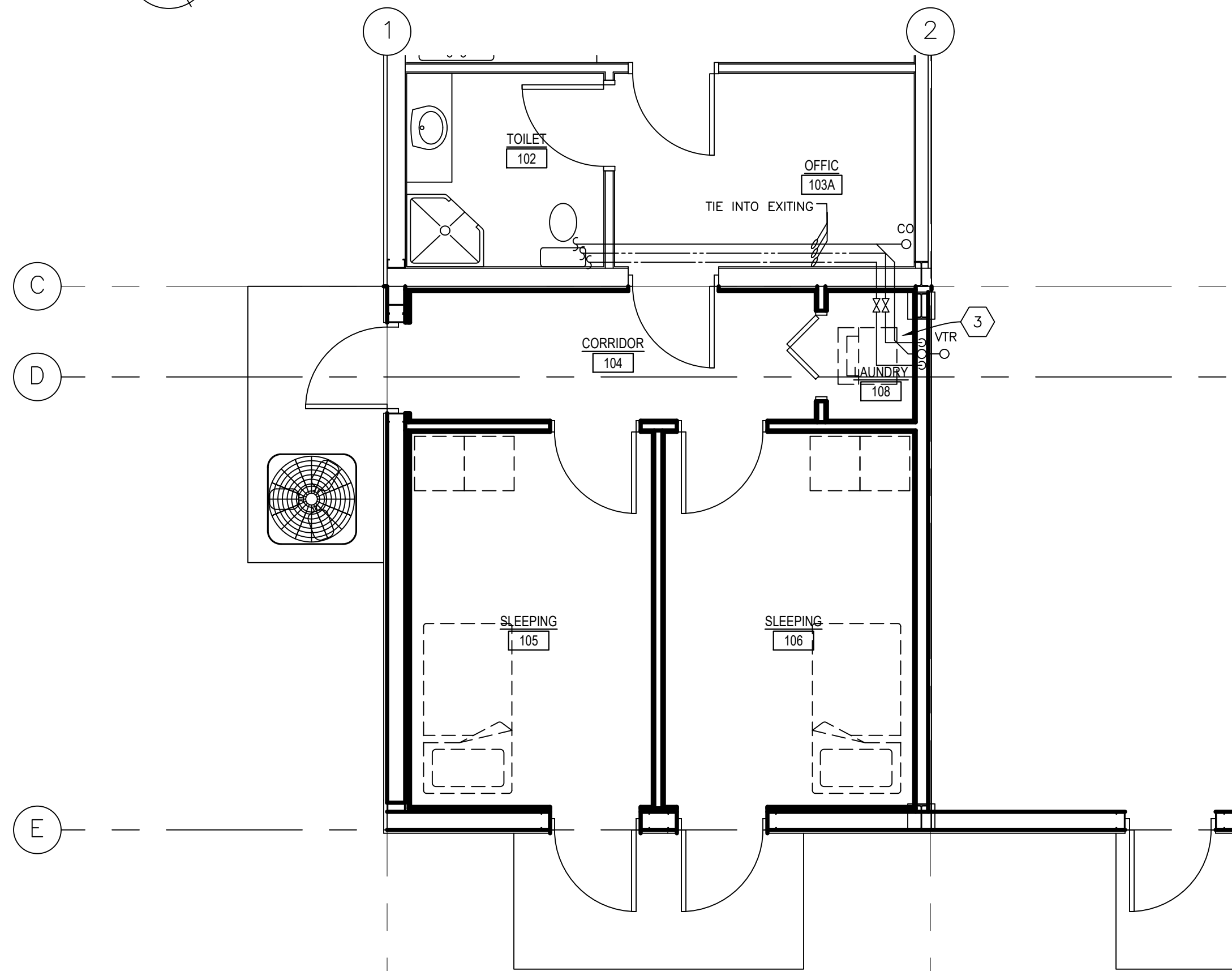
1 ELEC. FLOOR PLAN (BASE BID)
Scale: 1/8" = 1'-0"



3 PLUMBING FLOOR PLAN (BASE BID)
Scale: 1/8" = 1'-0"



2 ENLARGED ELEC. PLAN (ADD ALT#1)
Scale: 1/4" = 1'-0"



4 ENLARGED PLUMBING PLAN (ADD ALT#1)
Scale: 1/4" = 1'-0"

REVISION:	1/4/2024
CHK: smj	DRAWN: JYT
FILE NAME:	A001.dwg
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TITLE:	ELECTRICAL PLAN PLUMBING PLAN