



Department of Building & Grounds
Architectural Services Division

City of Baton Rouge
Parish of East Baton Rouge

P.O. Box 1471
Baton Rouge, Louisiana 70821
225 389-4694 Voice
225 389-4704 Fax

ADDENDUM #1

October 19, 2023

TO ALL BIDDERS

PROJECT: EBRP EMERGENCY GENERATORS

CITY PARISH PROJECT NO. 21-ASC-CP-1432

The following revisions shall be incorporated in and take precedence over any conflicting part of the original contract documents.

1. 1-page Non-Collusion & Non-Solicitation Affidavit is attached, herewith made a part of the Part 1A EBR Parish Statutory and Other Forms and Attachments, to be Completed and Submitted to the Purchasing Division Prior to Bid Opening.

The Non-Collusion & Non-Solicitation Affidavit and its wording are required by Louisiana State Public Bid Law Revised Statute (La R.S.) 38:2224. Because it is a Statute, it has been relocated from the Sample Agreement per La R.S. 38:2212 B.(2)(b) to the Statutory Forms, as a result of recent protest. Completing the Affidavit prior to Bid Opening may suggest somewhat questionable applicability, duly noted by the City/Parish Chief Engineer and Parish Attorney, who is presently making a protest with the Mayor-President, aiming for Affidavit's wording and place among Bid Documents to be more clearly sensible and understandable in the future. Your patience and cooperation are appreciated during the process.

2. 1-page Sign-In Sheet from the (non-mandatory) Pre-Bid Conference Wednesday Oct 11, 2023.
3. 1-page Pre-Bid Conference Meeting Minutes recorded by AST Engineers.
4. 7-page roof warranty for the Jewel J. Newman Community Center's Administration building replaced in 2022, responding to an inquiry at the Pre-Bid Conference. Jewel J. Newman Community Center's Gymnasium building's roof replaced in 2009, and Dr. Leo S. Butler Community Center's original 1982 roof, have no warranties found on record.
5. Addendum from Engineer:
See attached Addendum No. 1 prepared by AST Engineers dated October 18th, 2022, including:
6. 4-page General, Mechanical, and Electrical Items, and
7. 14-sheet revised Construction Documents, adding Sheet S100 Structural Modifications.

Total pages in this addendum, including cover page: 29

FAILURE TO INDICATE RECEIPT OF THIS ADDENDUM ON BID FORM MAY BE CAUSE FOR THE BID TO BE REJECTED

Stephen Long, AIA, LEED AP BD+C
Senior Architect
Architectural Services Division
1100 Laurel St Rm 227
Baton Rouge, LA 70802

AFFIDAVIT

STATE OF LOUISIANA

PARISH OF EAST BATON ROUGE

BEFORE ME, the undersigned authority, personally came and appeared:

who, being first duly sworn did depose and say:

That he is a duly authorized representative of **CONTRACTOR** receiving value for services rendered in connection with:

LCDBG CORONAVIRUS HVAC IMPROVEMENTS
JEWEL J NEWMAN COMMUNITY CENTER 2013 CENTRAL RD BATON ROUGE, LA 70807
DR LEO S BUTLER COMMUNITY CENTER LORRI BURGESS AVE BATON ROUGE, LA 70802
CITY PARISH PROJECT NO. 21-ASC-CP-1432

a public project of the City of Baton Rouge, Parish of East Baton Rouge, Louisiana; that he has employed no person, corporation, firm, association, or other organization, either directly or indirectly, to secure the public contract under which he received payment, other than persons regularly employed by him whose services in connection with the construction, alteration, or demolition of the public building or project or in securing the public contract were in the regular course of their duties for him; and that no part of the contract price received by him was paid or will be paid to any person, corporation, firm, association, or other organization for soliciting the contract, other than the payment of their normal compensation to persons regularly employed by him whose services in connection with the construction of the public building or project were in the regular course of their duties for him.

This affidavit is executed in compliance with the provisions of LA. R.S. 38:2224.

AFFIANT'S SIGNATURE

SWORN TO AND SUBSCRIBED before me, on this _____ day of _____ 20_____ .

Baton Rouge, Louisiana.

NOTARY PUBLIC

Date: Oct 11, 2023


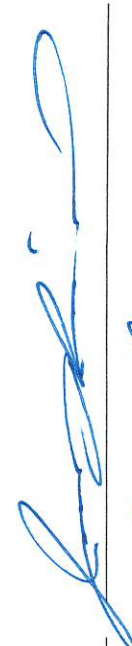


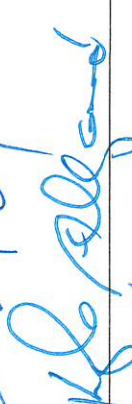
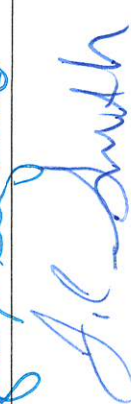
Project: LCDBG CORONAVIRUS HVAC IMPROVEMENTS

Project No: 21-ASC-CP-1432

Bid Date: Oct 24, 2023

PRE-BID CONFERENCE SIGN-IN SHEET

PLEASE SIGN IN AND WRITE YOUR PHONE NUMBER AND FAX NUMBER

(Print) Name & Email	Phone Number	Fax Number	Company Name & License#	Signature
Name: <u>STEPHEN LANG</u> Email: <u>slong@brla.gov</u>	<u>389.4694</u>	<u>389.4704</u>	<u>CITY OF BAYTON RUDGE ARCHITECTURAL SERVICES LA REG ARCHT #7399</u>	
Name: <u>Jeemy Kirkwood</u> Email: <u>JKirkwood@brla.gov</u>	<u>364-1490</u>		<u>DPW</u>	
Name: <u>Beau Bernherd</u> Email: <u>beau@bbanda.net</u>	<u>225-930-4840</u>		<u>Bob Bernherd & Associates Mechanical 57197</u>	
Name: <u>JORDAN FISH</u> Email: <u>ast@astengineers.us</u>	<u>225-920-5600</u>	<u>225-920-5620</u>	<u>AST ENGINEERS</u>	
Name: <u>Kyle Allgood</u> Email: <u>Kallgood@brla.gov</u>	<u>225-389-3168</u>		<u>DPW BxG</u>	
Name: <u>J.C. SMITH</u> Email: <u>Jc.youracman55@gmail.com</u>	<u>225-270-6305</u>		<u>Accu-Air Enterprises</u>	

**LCDBG Coronavirus HVAC
Improvements Grant
Jewel J. Newman Community Center
2013 Central Road
Leo S. Butler Community Center
950 E. Washington St**



Pre-Bid Meeting Minutes

October 11, 2023

A Pre-Bid conference meeting was held on Wednesday, October 11, 2023, at the Dr. Leo Butler Community Center. A list of the Owner and design team attendees is below. A complete list of attendees will be provided in Addendum 01.

1. Stephen Long, City of Baton Rouge
2. Jordan Fish, AST Engineers

The following items were discussed:

- 1.1 Stephen Long started the meeting with an introduction of the project and its funding source.
- 1.2 Stephen Long reviewed the LCDBG program, including what it is and what they do.
- 1.3 Stephen Long noted that project consist of two separate sites and buildings.
- 1.4 Stephen Long noted that AST Engineers in the prime designer.
- 1.5 Jordan Fish introduced the project scope of work for each site and reviewed the base bid and alternates.
- 1.6 Stephen Long stated the bid will be due on October 24, 2023.
- 1.7 Stephen Long noted all substitution requests be sent to AST Engineers.
- 1.8 Contractor asked a question about roof warranties. Stephen Long noted this information would be covered in the addendum.
- 1.9 City of Baton Rouge maintenance personnel noted that at the Jewel J. Newman site, that proper care of the gymnasium wood floor would need to be accounted for in the Contractor's bid. It was mentioned that plywood decking would be required for any lifts used inside the gymnasium.
- 1.10 City of Baton Rouge maintenance noted that plastic clear lock boxes shall be placed on all thermostats.
- 1.11 Contractors discussed a site meeting for the following week. This is to be determined.

cc: Mr. Stephen Long, City of Baton Rouge
Job Specific Email

**Assaf, Simoneaux, Tauzin
& Associates, Inc.**
8417 Kelwood Avenue
Baton Rouge, LA 70806
Phone: 225-926-5600
ast@astengineers.us



Please Sign and Return
to Corporate Office

Warranty No.: 101-022023

Platinum NDL Roofing Warranty

Building Name: Jewel J. Newman Community Center		
Building Address: 2013 Central Road, Baton Rouge, LA 70807		
Roof Section: N/A		
Owner Name: City of Baton Rouge Purchasing Department		
Owner Address: 222 St. Louis Street, Baton Rouge, LA 70821		
Contractor: Supreme Roofing & Construction, 19 East 3 rd Street, Kenner, LA 70062		
Total Squares: 109	Roofing Material: Soprafix 611.48	Flashing Material: 32.48
Term of Warranty: 20 Years	Warranty Start Date: 02.11.2022	Warranty End Date: 02.11.2042

Express Warranty

SOPREMA, Inc., an Ohio corporation, warrants to you that your SOPREMA® roofing will remain watertight for the full term of this warranty. This warranty is made subject to all the terms, conditions, and limitations set forth below.

Reporting Claims

To report a claim, follow the procedure set forth in Form 900 – Warranty Claim Procedure.

Remedy

When you make a valid claim, SOPREMA will provide the labor and material necessary to return the roofing to a watertight condition.

NOTICES

THE WARRANTY EXPRESSED IN THIS DOCUMENT SUPERSEDES AND IS IN LIEU OF ALL OTHER WARRANTIES, WHETHER WRITTEN OR ORAL, EXPRESS OR IMPLIED, INCLUDING, WITHOUT LIMITATION, ANY WARRANTY OF MERCHANTABILITY OR FITNESS FOR ANY PARTICULAR PURPOSE.

THE ABOVE-STATED REMEDY IS YOUR SOLE AND EXCLUSIVE REMEDY AGAINST SOPREMA.

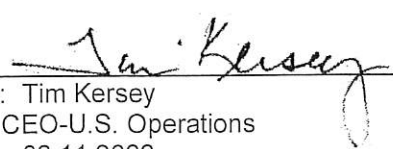
IN NO EVENT IS SOPREMA LIABLE TO YOU OR ANY OCCUPANT OF THE BUILDING FOR ANY INCIDENTAL, CONSEQUENTIAL, INDIRECT, OR OTHER SIMILAR DAMAGES.

This warranty document includes all of the following:



1. The Terms, Conditions and Limitations printed on the reverse.
2. Form 900 – Warranty Claim Procedure.
3. Form 901 – Care and Maintenance Guide.

This warranty is not valid until activated. To be activated, it must be signed by Owner and returned to SOPREMA. Activation must occur within three months after the Warranty Start Date stated above, or any later date agreed to by SOPREMA. Once activated, the warranty is effective retroactive to the Warranty Start Date.

SOPREMA, Inc.

By: 
Name: Tim Kersey
Title: CEO-U.S. Operations
Date: 02.11.2022

Owner:


By: 
Name: SEAN JOHNSON
Title: CHIEF ARCHITECT
Date: 4/13/22

Terms, Conditions and Limitations

1. The SOPREMA® roofing materials covered by this warranty (this "Warranty") are the roofing and flashing materials specifically identified by number or other description on the face of this Warranty (referred to as the "roofing").
2. The authorized contractor who installed the roofing is not an agent of SOPREMA. Any future work impacting the roofing must be performed by a contractor selected and hired by Owner and authorized by SOPREMA. Contact SOPREMA if you would like to receive a list of authorized contractors in your area.
3. The design and installation of the roof assembly must be in accordance with applicable instructions, details, specifications, approvals, codes, laws, and regulations. All services by SOPREMA related to design, construction, review of project documents or conditions and site visits are limited in scope and do not expand the provisions of this Warranty. These services were not offered, and should not be considered, as a substitute for fulltime quality assurance, project management or professional design services.
4. Owner is responsible for ensuring that the roofing is maintained in accordance with SOPREMA's Care and Maintenance Guide (see Form 901) and for promptly notifying SOPREMA of any change in occupancy, usage or any other condition adversely affecting the roofing.
5. During the entire term of the Warranty, upon request, SOPREMA and anyone it hires shall have full and free rooftop access. Access shall be provided during regular business hours, and, if requested in advance, any other times.
6. This Warranty covers SOPREMA roofing products included in a properly designed and installed roof assembly that develops a roofing leak due to workmanship or a product manufacturing defect. The Warranty will provide Owner with a remedy when Owner follows the Warranty Claim Procedure (see Form 900) and the claim is validated by SOPREMA.
7. The Warranty also covers roofing leaks caused by wind with a speed less than 74 m.p.h. The wind speed warranty excludes damage where the cause includes any of the following: (a) primary or secondary structural components; (b) wood nailers or blocking and edge system components; (c) deck and deck fastening; (d) walls, doors, windows, openings and other building envelope components; (e) substrates that are deteriorated, rusted, rotted, deformed, weakened, crushed, compressed, or otherwise failed; (f) rooftop structures and/or equipment connected to, or supported by, the roofing or waterproofing system; (g) windborne debris; or (h) neglect or physical abuse.
8. Following are some examples of conditions and types of damage not covered by this Warranty:
 - a. The effects of lightning, fire, flood, acid rain, thermal shock, explosion, hail, seismic event, hurricane, tornado, or microburst.
 - b. Improper use, order, sequencing, storage or handling of materials or systems.
 - c. The lack of positive slope or inadequate drainage, unless water is retained, by design, for no longer than 48 hours after the end of a precipitation event.
 - d. Inaccessible leaks concealed below rooftop equipment, overburden, and all other products applied to the roofing or flashing materials.
 - e. Failure to apply the roofing to a suitable substrate, or subsequent substrate failure.
 - f. Failure of roofing substrates or attachments.
 - g. A deficient pre-existing condition or any sources of water entry other than the roofing.
 - h. Building or substrate settlement, deflection, movement, vibration, or displacement.
 - i. The accumulation of moisture from condensation in or below the roofing.
 - j. Exposure to extreme temperatures or humidity, for example, from equipment, exhaust, steam, hot water, freezers, or cold storage.
 - k. Plants, animals, insects, or other living organisms.
 - l. Incompatible materials or substances.
 - m. Deliberate or negligent acts such as excessive traffic, rooftop storage, vandalism, misuse, or abuse.
 - n. Falling, flying, dropped, discharged or blown materials, objects or debris.
 - o. Change in building occupancy or rooftop usage.
 - p. Unauthorized or improper repairs or modifications.
9. This Warranty becomes a binding contract once it has been signed by both parties and all fees and expenses associated with the roofing project have been paid in full.
10. Temporary, emergency repairs to stop a leak may be made at Owner expense and will not void this Warranty, however it is Owner's responsibility to pay the cost of removing any excessive repairs. Promptly after making emergency repairs, Owner is responsible for following the Warranty Claim Procedure (see Form 900).
11. SOPREMA's failure to exercise or enforce any of its rights under this Warranty is not a waiver and does not preclude SOPREMA from exercising the same or any other right in the future. Owner's failure to comply with any of the provisions of this Warranty applicable to it relieves SOPREMA of its obligations under this Warranty.
12. This Warranty is governed by and shall be construed and enforced in accordance with the internal laws of Ohio, without giving effect to any choice of law rules that may require the application of the laws of another jurisdiction. Any lawsuit by Owner that is related to the roofing or this Warranty, including the alleged breach of this Warranty, must be filed in either the Medina County, Ohio Court of Common Pleas or the U.S. District Court for the Northern District of Ohio. Owner irrevocably consents to the jurisdiction and venue of these courts.
13. In order for Owner to bring a lawsuit against SOPREMA, Owner must, as a condition precedent thereto, (a) have complied with all of the terms and conditions of this Warranty applicable to it, and (b) the lawsuit must be commenced within one (1) year after the cause of action accrues. Time is of the essence. The failure to satisfy either of these conditions precedent shall result in Owner's claims being forever barred.
14. The terms of this Warranty are severable so that any illegal, invalid or unenforceable provision, if feasible, shall be modified so that it becomes legal, valid and enforceable, or if not so feasible, stricken, in either case without affecting the validity or enforceability of the remaining provisions.
15. This Warranty document (and the documents referred to herein) sets forth the entire agreement between SOPREMA and Owner with respect to the roofing. SOPREMA disclaims, and Owner waives, any affirmation of fact or promise not expressly stated in this Warranty that may have been made by SOPREMA or any of its employees, agents, representatives, or distributors.
16. The damages excluded by the terms of this Warranty include, but are not limited to, loss or reduction of profits, interruption of business, injury to or illness or death of people, animals or other living organisms, damage or loss caused by or attributable to indoor air quality (including, but not limited to, the presence or growth of mold, mildew or other similar substance in, on or about the roof assembly), or damage to or destruction of property, including the building or any of its contents, even if SOPREMA has been advised of the possibility, or even the likelihood, of any of these types of damages.
17. This Warranty may be transferred to a subsequent building owner upon compliance with the following requirements: (a) a transfer request is made in writing to SOPREMA's Warranty Department, (b) at the time the request is made, SOPREMA is paid its then current transfer fee, and (c) you complete any repairs to the roof assembly or other building components that SOPREMA believes are necessary to preserve the watertight integrity of the roofing for the remaining term of this Warranty.

For Questions Contact:

SOPREMA, Inc.
Warranty Department
201 Quadra Drive
Wadsworth, OH 44281-9571
Phone: (330) 334-0066
www.soprema.us



ROOFING AND SHEET METAL GUARANTEE

OWNER: City of Baton Rouge Purchasing Department

ADDRESS: 222 St. Louis Street
Baton Rouge, LA 70821

WHEREAS: Supreme Roofing & Construction, LLC.
#19 East Third St. Kenner, Louisiana 70062 (504) 464-4644,
herein called the "Roofing Contractor," has performed roofing and flashing in the
accordance with the Soprema Manufacturers Specifications and Installation manual

Name of Project: Roof Replacement To: Re-Roofing of Jewel J. Newman
Community Center

Name and Type of Building(s): 1-Story Community Center

Type(s) of Roof(s): 2 Ply Modified
Total Roof Area: 10,808 sq ft

Date of Acceptance: 05/25/22
Guarantee Period: Two (2) Years
Date of Expiration: 05/25/24

AND WHEREAS the Roofing Contractor has contracted to guarantee to say work
against water entry from faulty or defective materials and workmanship for the
designated Guarantee Period; in addition the Roofing Contractor certifies that the
building, roofing membrane and metal flashings are in conformance with all the
requirements.

NOW THEREFORE the Roofing Contractor as the prime contractor guarantees, subject to the terms and conditions herein set forth, that during the Guarantee Period he will at his own cost and expense, make or cause to be made with approved procedures and materials such repairs to or replacements of said work resulting from water entry of faults or defects of said work as are necessary to correct faulty and defective work and as are necessary to maintain said Work in the watertight conditions and further to respond on or within three (3) working days upon written notification of leaks or defects by the Owner/User Agency.

This Guarantee is made subject to the following terms and conditions:

1. Specifically excluded from this guarantee and to the Work, other part of the building contents caused by: A) lightning, windstorm (includes hurricanes and tornadoes), hailstorm, earthquakes and other unusual phenomena of the elements; B) fire; and C) structural failures causing excessive roof deck, edgings and related roof components movement. When the Work has been damaged by any of the forgoing causes, the Guarantee will be null and void until the cost and the expense thereof has been paid by the Owner or other responsible party so designated.
2. During the Guarantee Period, if the Owner/User Agency allows alteration of the Work by anyone other than a Contractor approved in writing by the Roofing Subcontractor, General Contractor, and the Roofing Material Manufacturer prior to the work being performed, including cutting, patching, and maintenance in connection with penetration, attachment of other work, and positioning of anything on the roof, this Guarantee shall become null and void, unless the Roofing Contractor, prior to proceeding with said work, shall have notified the Owner/User Agency in writing, showing reasonable cause for claim that said alterations would likely damage or deteriorate the Work, thereby reasonably justifying a termination of this Guarantee.
3. During the Guarantee Period, if the original use to the roof is changed and it becomes used for which it was not originally designed or specified, as a promenade, work deck, spray-cooled surface, flooded basin, or other use of service more severe than originally specified this Guarantee shall become null and void upon the date of said change.

4. During the Guarantee Period, if any building or area of a building is changed to uses created extremes of interior temperature and/or humidity, but for which it was not originally designed and specified, without provisions and alterations made to the building

which effectively contain or control these conditions, this Guarantee shall become null and void upon the date of said change.

5. The Owner/User Agency shall promptly notify the Roofing Contractor in writing of observed, known or the suspected leaks, defects or deterioration, and shall afford reasonable opportunity for the Roofing Contractor to inspect the Work, and to examine the evidence of such leaks, defects or deterioration.

IN WITNESS THEREOF, this instrument has been duly executed this 25th day of April, 2022.

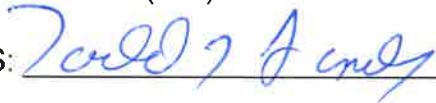
Roofing Contractor's Signature: _____


Ray J. Palmer, President

Representing: Supreme Roofing & Construction LLC.

Telephone Number: (504) 464-4644

WITNESS: _____



COMPLETION SITE VISIT NOTES

310 Quadral Drive, Wadsworth, Ohio, 44281



SITE VISIT INFORMATION:

Project Number: MEM37851

Technical Representative:
Brad Fonte

Site Visit Date:
02/11/2022

Temp (°F):
41

Weather:
Sunny

PROJECT INFORMATION:

Project Name: Jewel J. Newman Community Center

Contractor Name: SUPREME ROOFING & CONSTRUCTION LLC

Address: 2013 Central Road

Address: 19 E 3RD STREET

City: Baton Rouge **State:** LA **Zip:** 70807

City: KENNER **State:** Louisiana

Zip: 70062

Contact: Sit Wong

Contractor Contact: Ray Palmer

WARRANTY INFORMATION:

Warranty Type: Platinum NDL Roof Warranty: Form 101
Have previous ACTION ITEMS been addressed?: No

Substantial Completion Date: 02/11/2022

SYSTEM INFORMATION:

System Name: System #1

Project Type: Tear-Off

Structural Deck Type: Lightweight Structural Concrete
(poured in place)

Finished Roof Slope: 1/8

Field Area Layers

Component

Group

Securement

Roofing Nailed Base Sheet/BUR Ply Modified Sopra G

Loose Laid

Insulation/Lightweight Insulating
Concrete

Tapered Perlite Crickets

#14 Fasteners & Plates

Coverboard

SOPRABOARD 1/4"

SOPREMA #14 MP Fastener w/ Soprafix 3" Metal
Insulation Plate

Roofing SBS Base Ply

Soprafix Base 611

SOPREMA #14 MP Fastener w/ Soprafix 2" Seam Plate

Roofing SBS Cap Sheet

Sopralene Flam 180 FR GR

Heat Welded

Flashing Area Layers

Component

Group

Securement

Roofing SBS Base Ply

Sopralene Flam 180

Heat Welded

Roofing SBS Cap Sheet

Sopralene Flam 180 FR GR

Heat Welded

Additional System Information:

SYSTEM WARRANTY PUNCLIST ITEMS:

- Mechanically terminate Membrane at roof hatch

OVER-BURDEN ACTION ITEMS:

Over-Burden Type:

NOTES AND OBSERVATIONS REGARDING DESIGN ISSUES:

Arrived on site at 7:30 AM walked site with Kenny and Miguel. Departed site 7:55 AM.

Final Evaluation Results: Pass

SITE VISIT PHOTOS:



CONTRACTOR ACKNOWLEDGEMENT:

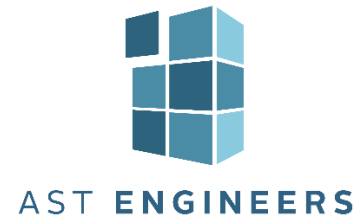
SOPREMA site visits are limited in scope and are undertaken for the sole purpose of determining whether to issue a warranty. Unnoticed conditions might exist that are not in compliance with applicable instructions, details, specifications, approvals, codes, laws, or regulations. Except to the extent expressly accepted in this report, noncompliant conditions, if they exist, are not accepted by SOPREMA. Any acceptance is for warranty purposes only. Site visits are not offered, and should not be relied upon, as a substitute for fulltime quality assurance, project management or professional design services.

By signing and submitting to SOPREMA Warranty Department this form, the contractors' representative acknowledges to SOPREMA that all punch list items have been completed and that all components have been installed in accordance with SOPREMA's requirements. Please submit this signed Notes along with all required photographs of the completed repairs to the SOPREMA Warranty Department.

CONTRACTOR'S SIGNATURE:

PRINTED NAME: Kenny Hiltibidal

LCDBG Coronavirus HVAC
Improvements Grant
Jewel J. Newman Community Center
2013 Central Road
Leo S. Butler Community Center
950 E. Washington St



Addendum Number One (01)
October 18, 2023

Make the following additions, deletions, alterations, clarifications, or corrections to the Drawings and Specifications. This Addendum becomes a part of the Contract Documents when the Construction Contract is executed.

GENERAL ITEMS

1. Bidders shall be aware that the project consists of work that will be required to be performed by multiple disciplines. This includes but is not limited to mechanical, plumbing, electrical, asbestos abatement, structural, and painting. Contractor shall thoroughly review project documents to provide a proper bid.
2. The successful bidder shall be responsible for managing all subcontractors required for the project. This includes all administrative tasks such as submittal processing, change order request, project schedules, etc. Bidders shall properly review all Specification front end documents for all requirements.
3. Bidder shall be aware that there is delegated design scope associated with the project, such as asbestos abatement for the chilled water piping and structural framing at the new rooftop air units, both for the Jewel J. Newman Gymnasium. For asbestos abatement, the contractor shall engage appropriate engineers or contractors to assess the extent of abatement required and perform the removal of the materials. For the structural framing, the contractor shall coordinate the new rooftop air unit requirements with the existing structure and add framing members as required to properly coordinate and install the work. The contractor shall engage the project's structural engineer for all design work and framing requirements to accommodate the new rooftop air units.
4. Contractor shall coordinate with Owner's roofing contractor/provider to ensure all new rooftop penetrations are performed to their requirements, ensuring the roof warranty is not affected.
5. See attached for Pre-Bid Meeting Minutes.

GENERAL QUESTIONS AND RESPONSES

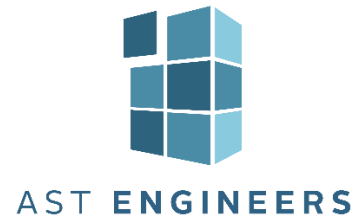
1. Question 1: At the Jewel J. Newman site, what does the equipment labeled OHP-1,2, and 3 connect to?

Response 1: These units connect to a VRF DX coil within AHU-1. All OHP units will tie together to serve the indoor coil. All associated components, such as coil integration kits, shall be provided by the AHU/OHP supplier. Both the AHU and OHP shall come from the same manufacturer or from manufacturers with integration compatibility.

2. Question 2: At the Dr. Leo Butler site, how are the individual zones (actuators) going to be controlled?

Response 2: The individual zone actuators will be open/closed via feedback from a thermostat

LCDBG Coronavirus HVAC
Improvements Grant
Jewel J. Newman Community Center
2013 Central Road
Leo S. Butler Community Center
950 E. Washington St



Addendum Number One (01)
October 18, 2023

mounted in the served zone. Within the curb, there shall be a separation panel between supply and return which will have a bypass damper that will be controlled to maintain the required static pressure setpoint within the curb to supply air to each zone. The final static pressure required will be determined by the Test and Balance contractor. As zone dampers open or close, the bypass damper will modulate accordingly.

3. Question 3: At the Dr. Leo Butler site, are the existing curb dimensions available?

Response 3: Contractor shall field verify for exact dimensions. Approximate dimensions are as follows: For RTU-1: 128" x 78"; for RTU-2 thru RTU-4: 256" x 86".

MECHANICAL ITEMS

DRAWINGS

1. Sheet T100:

A. Replace existing Sheet T100 with attached revised Sheet T100, revisions include but are not limited to:

- (1) Date of drawings reflects January 24th, 2023.
- (2) Base Bid and Alternate descriptions are provided.

2. Sheet M100:

A. Replace existing Sheet M100 with attached revised Sheet M100, revisions include but are not limited to:

- (1) Date of drawings reflects January 24th, 2023.

3. Sheet M101:

A. Replace existing Sheet M101 with attached revised Sheet M101, revisions include but are not limited to:

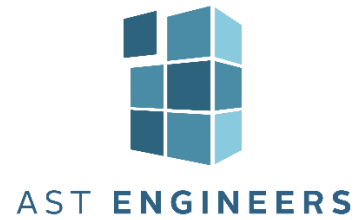
- (1) Date of drawings reflects January 24th, 2023.

4. Sheet M102:

A. Replace existing Sheet M102 with attached revised Sheet M102, revisions include but are not limited to:

- (1) Date of drawings reflects January 24th, 2023.

LCDBG Coronavirus HVAC
Improvements Grant
Jewel J. Newman Community Center
2013 Central Road
Leo S. Butler Community Center
950 E. Washington St



Addendum Number One (01)
October 18, 2023

- (2) Keynote 12 added to the demolition plan to present the abatement work associated with the demolition of the existing chilled water piping.
- 5. Sheet M103:
 - A. Replace existing Sheet M103 with attached revised Sheet M103, revisions include but are not limited to:
 - (1) Date of drawings reflects January 24th, 2023.
- 6. Sheet M200:
 - A. Replace existing Sheet M200 with attached revised Sheet M200, revisions include but are not limited to:
 - (1) Date of drawings reflects January 24th, 2023.
- 7. Sheet M201:
 - A. Replace existing Sheet M201 with attached revised Sheet M201, revisions include but are not limited to:
 - (1) Date of drawings reflects January 24th, 2023.

MECHANICAL PRIOR APPROVALS - APPROVED

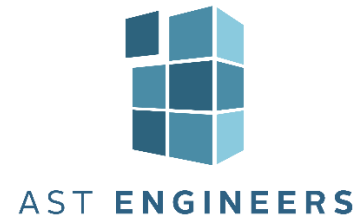
<u>ITEM</u>	<u>MANUFACTURER</u>	<u>EQUIPMENT TYPE/MODEL</u>
Motor Starters	Taco	TAS Series

ELECTRICAL ITEMS

DRAWINGS

- 1. Sheet E100:
 - A. Replace existing Sheet E100 with attached revised Sheet E100, revisions include but are not limited to:
 - (1) Date of drawings reflects January 24th, 2023.

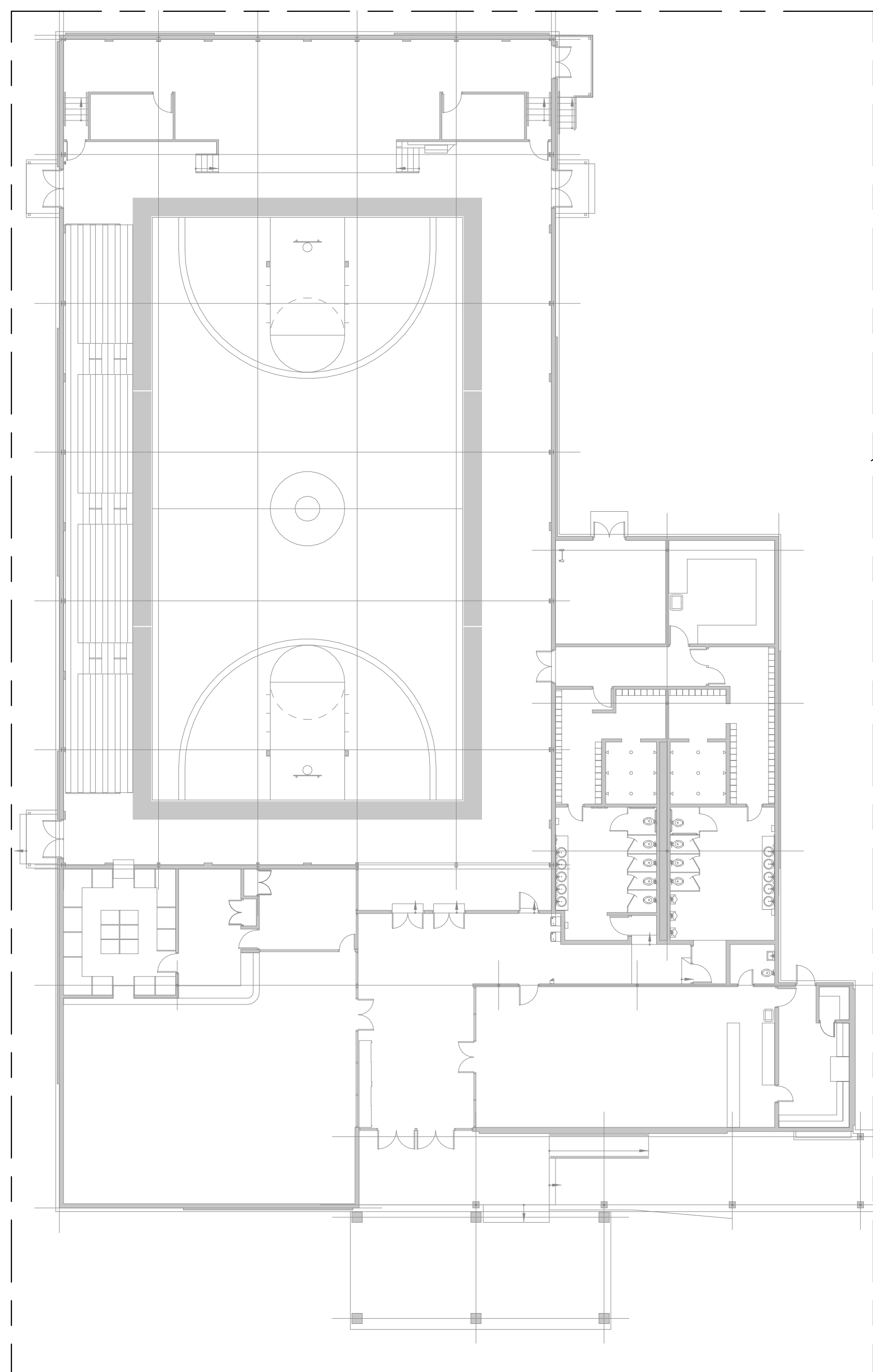
LCDBG Coronavirus HVAC
Improvements Grant
Jewel J. Newman Community Center
2013 Central Road
Leo S. Butler Community Center
950 E. Washington St



Addendum Number One (01)
October 18, 2023

2. Sheet E101:
 - A. Replace existing Sheet E101 with attached revised Sheet E101, revisions include but are not limited to:
 - (1) Date of drawings reflects January 24th, 2023.
3. Sheet E102:
 - A. Replace existing Sheet E102 with attached revised Sheet E102, revisions include but are not limited to:
 - (1) Date of drawings reflects January 24th, 2023.
4. Sheet E200:
 - A. Replace existing Sheet E200 with attached revised Sheet E200, revisions include but are not limited to:
 - (1) Date of drawings reflects January 24th, 2023.
5. Sheet E201:
 - A. Replace existing Sheet E201 with attached revised Sheet E201, revisions include but are not limited to:
 - (1) Date of drawings reflects January 24th, 2023.
6. Sheet E202:
 - A. Replace existing Sheet E202 with attached revised Sheet E202, revisions include but are not limited to:
 - (1) Date of drawings reflects January 24th, 2023.
7. Sheet S100:
 - A. Add Sheet S100.

Structural Engineer:
 Wardlaw, Lasselgne, & Lebouef
 554 Colonial Dr.
 Baton Rouge, LA, 70806
 225-926-1432



REFERENCE SHEET M102
 AND M103 FOR BUILDING
 WORK

② MECHANICAL EQUIPMENT SCHEDULES
 1" = 1'-0"

JEWEL NEWMAN - AIR UNITS																			
DESIGNATION	CABINET SIZE	SUPPLY CFM	OA CFM			AIR STATIC PRESSURES (IN. W.G.)			TYPE (1)	COOLING			MBTUH HEATING	FAN MOTOR			STARTER DATA		REMARKS
			MAX	MIN	TOTAL	EXTERNAL	INTERNAL	MBTUH SENSIBLE		MBTUH LATENT	MBTUH TOTAL	QTY x HP		VOLTS	PH	TYPE	LOCATION		
AHU-1	25	12,000	1,200	1,200	3.5	2.0	1.5	HDT, CV, AFB	284	116	400	350	1 x 15	208	3	COMB	NEAR UNIT	(2),(3),(4),(5)	

REMARKS:

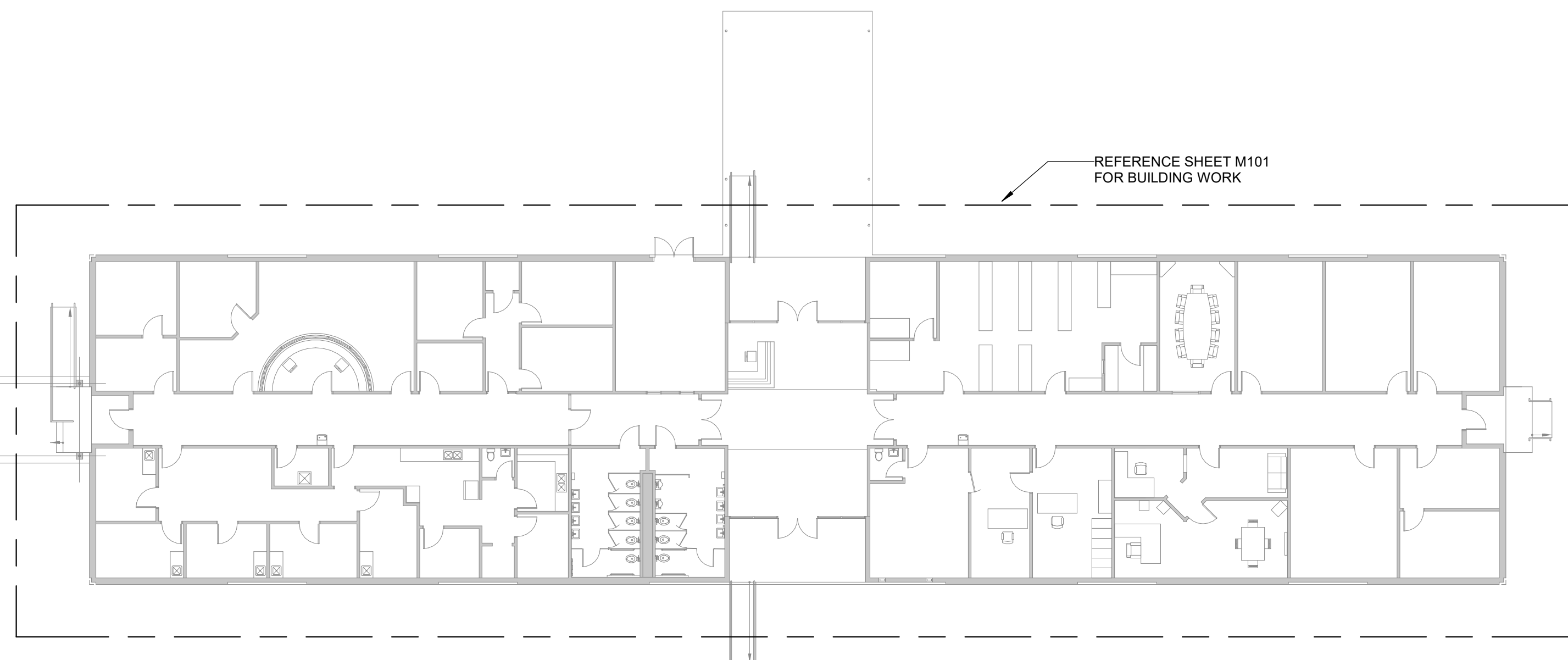
- CONFIGURATION TYPES:
 HDT - HORIZONTAL DRAW THROUGH UNIT
 CV - CONSTANT VOLUME
 AFB - ANGLE FILTER MIXING BOX WITH RA AND OA OPENINGS WITH BALANCING DAMPERS
- SEE SPECIFICATIONS FOR ALL REQUIREMENTS.
- BASIS OF DESIGN: TRANE CSAA PERFORMANCE CLIMATE CHANGER. CABINET SIZE SCHEDULED PER TRANE UNIT SIZES.
- UNIT SHALL BE PROVIDED WITH THE FOLLOWING OPTIONS: MERV 13 FILTERS, MINIMUM 12" CLEAR OPENING ACCESS SEGMENTS (WHERE PROVIDED), 2" DOUBLE WALL CASING WITH INJECTED FOAM INSULATION, NON-SLIP TREADPLATE FLOORING IN ACCESSIBLE SECTIONS, REFER TO SPECIFICATIONS AND RELATED SCHEDULES FOR ADDITIONAL REQUIREMENTS.
- FOR UNITS WITH MULTIPLE FAN MOTORS, FURNISH ONE OVERLOAD RELAY FOR EACH MOTOR. OVERLOAD RELAYS SHALL BE FURNISHED BY THE MECHANICAL CONTRACTOR AND INSTALLED BY THE ELECTRICAL CONTRACTOR.

JEWEL NEWMAN - OUTDOOR HEAT PUMP UNITS														
DESIGNATION	NOM. CAP. (MBTUH)	NO. COMP./ REFRIG. CIRCUITS	COMP. STAGES	SUCTION TEMP. (°F)	COOLING AMB. AIR (°F)	ELECTRICAL DATA			REFRIG. LINE SIZE (IN)			SEER		REMARKS
						VOLTS	PHASE	MCA	RL	RS				
OHP-1	96	1/1	VARIABLE	45	95	208	3	36.3	(2)	(2)	16.0	(1),(3)		
OHP-2	144	2/1	VARIABLE	45	95	208	3	55.1	(2)	(2)	16.0	(1),(3)		
OHP-3	168	2/1	VARIABLE	45	95	208	3	55.1	(2)	(2)	16.0	(1),(3)		

REMARKS:

- REFER TO SPECIFICATIONS.
- THE EQUIPMENT MANUFACTURER'S REPRESENTATIVE SHALL DESIGN REFRIGERANT PIPING TO MATCH EACH APPLICATION AND SUBMIT FOR APPROVAL. RE: SPECIFICATIONS. CONTRACTOR SHALL INSTALL PIPING AS PER MANUFACTURER'S RECOMMENDATIONS.
- UNIT SHALL UTILIZE R-410A REFRIGERANT.

REFERENCE SHEET M101
 FOR BUILDING WORK



① OVERALL PLAN - JEWEL J. NEWMAN
 1/16" = 1'-0"

No.	Description	Date



CITY OF BATON ROUGE

LCDBG
 CORONAVIRUS
 HVAC
 IMPROVEMENTS

MECHANICAL
 OVERALL PLAN

Project number	21-ASD-CP-1311
Date	01-24-2023
Drawn by	MEP
Checked by	JHF

M100

Scale As indicated

